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PLANNING COMMITTEE

Tuesday, 28th April, 2015 at 7.30 pm
Venue: Rooms 2 & 3, Dugdale Centre,
Thomas Hardy House, 39 London Road,
Enfield, Middlesex, EN2 6DS

Contact: Jane Creer / Metin Halil
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PLEASE NOTE VENUE ABOVE

MEMBERS

Councillors : Abdul Abdullahi, Lee Chamberlain, Dogan Delman, Christiana During, Ahmet Hasan, Jansev Jemal, Derek Levy (Vice-Chair), Andy Milne, Anne-Marie Pearce, George Savva MBE and Toby Simon (Chair) and 1 Vacancy

N.B. Any member of the public interested in attending the meeting should ensure that they arrive promptly at 7:15pm
Please note that if the capacity of the room is reached, entry may not be permitted. Public seating will be available on a first come first served basis.

Involved parties may request to make a deputation to the Committee by contacting the committee administrator before 12:00 noon on 27/04/15

AGENDA – PART 1

- 1. WELCOME AND APOLOGIES FOR ABSENCE**
- 2. DECLARATION OF INTERESTS**

Members of the Planning Committee are invited to identify any disclosable pecuniary, other pecuniary or non pecuniary interests relevant to items on the agenda.

- 3. MINUTES OF THE PLANNING COMMITTEE 12 MARCH 2015 (Pages 1 - 4)**

To receive the minutes of the Planning Committee meeting held on Thursday 12 March 2015.

4. MINUTES OF THE PLANNING COMMITTEE 24 MARCH 2015 (Pages 5 - 8)

To receive the minutes of the Planning Committee meeting held on Tuesday 24 March 2015.

5. REPORT OF THE ASSISTANT DIRECTOR, PLANNING, HIGHWAYS AND TRANSPORTATION (REPORT NO. 233) (Pages 9 - 10)

To receive the covering report of the Assistant Director, Planning, Highways & Transportation.

5.1 Applications dealt with under delegated powers. (A copy is available in the Members' Library.)

6. 14-02634-FUL - 25 LANCASTER AVENUE, BARNET EN4 0EP (Pages 11 - 32)

RECOMMENDATION: Approval subject to completion of S106 Agreement and conditions

WARD: Cockfosters

7. 15-00453-FUL - REAR OF 41-45 GORDON HILL, ENFIELD, EN2 0QS (Pages 33 - 52)

RECOMMENDATION: Approval subject to conditions

WARD: Town

8. 14-04772-HOU - 68 MEADWAY, N14 6NH (Pages 53 - 66)

RECOMMENDATION: Approval subject to conditions

WARD: Southgate

9. 15-00588-HOU - 73 AVENUE ROAD, LONDON, N14 4DD (Pages 67 - 76)

RECOMMENDATION: Refusal

WARD: Cockfosters

10. 15-01218-RE4 - FIRS FARM PLAYING FIELDS, FIRS LANE, LONDON N21 2PJ (Pages 77 - 88)

RECOMMENDATION: Approval in accordance with Regulation 3 of the Town and Country Planning General Regulations 1992 and subject to conditions

WARD: Bush Hill Park

11. APPEAL INFORMATION

Monthly decisions on Town Planning Application Appeals.
(The update will be provided at the meeting.)

12. EXCLUSION OF THE PRESS AND PUBLIC

If necessary, to consider passing a resolution under Section 100A(4) of the Local Government Act 1972 excluding the press and public from the meeting for any items of business moved to part 2 of the agenda on the grounds that they involve the likely disclosure of exempt information as defined in those paragraphs of Part 1 of Schedule 12A to the Act (as amended by the Local Government (Access to Information) (Variation) Order 2006).
(There is no part 2 agenda)

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PLANNING COMMITTEE - 12.3.2015**MINUTES OF THE MEETING OF THE PLANNING COMMITTEE
HELD ON THURSDAY, 12 MARCH 2015****COUNCILLORS**

PRESENT Abdul Abdullahi, Lee Chamberlain, Dogan Delman, Christiana During, Ahmet Hasan, Derek Levy, Andy Milne, Anne-Marie Pearce, George Savva MBE and Toby Simon

ABSENT Jansev Jemal

OFFICERS: Bob Griffiths (Assistant Director - Planning, Highways & Transportation), Andy Higham (Head of Development Management), Sharon Davidson (Planning Decisions Manager), David B Taylor (Transportation Planning), Izabella Grogan (Legal Services) and Robert Singleton (Planning Officer) Jane Creer (Secretary)

Also Attending: Approximately 50 members of the public, applicant and agent representatives, councillors and MP
Dennis Stacey, Chairman – Conservation Advisory Group

423**WELCOME AND APOLOGIES FOR ABSENCE**

NOTED

1. Councillor Simon, Chair, welcomed everyone in attendance and explained the procedure and order of the meeting.
2. Councillor Chamberlain expressed concern about the acceptance of a late deputation request. The Chair confirmed that this had been considered with the Council's Monitoring Officer and committee legal adviser and it was agreed that was a proper decision for him to make.
3. Apologies for absence were received from Councillor Jemal in view of her disclosable pecuniary interest in the application.

424**DECLARATION OF INTERESTS**

NOTED that Councillor Pearce advised that she was a member of the Health Scrutiny Standing Workstream and had been at meetings where the hospital was discussed, but she would consider the application without prejudice.

425**MINUTES OF THE PLANNING COMMITTEE 4 FEBRUARY 2015**

PLANNING COMMITTEE - 12.3.2015

AGREED the minutes of the Planning Committee meeting held on 4 February 2015 as a correct record.

NOTED that the minutes of the Planning Committee meeting held on 27 January 2015 were signed by the Chair following completion of Minute 365.

426

REPORT OF THE ASSISTANT DIRECTOR, PLANNING, HIGHWAYS AND TRANSPORTATION (REPORT NO. 198)

RECEIVED the report of the Assistant Director, Planning, Highways and Transportation.

427

14/04574/OUT - CHASE FARM HOSPITAL, THE RIDGEWAY, ENFIELD, EN2 6JL

NOTED

1. Introduction by the Planning Decisions Manager, highlighting the key issues for Members' consideration, and confirming that the application had been the subject of extensive public consultation; a Planning Panel was held on 7 January 2015, and a Member site visit on 24 January 2015. The application had also been referred to the Greater London Authority.
2. An update on the S106 Agreement, that discussions were on-going and a draft agreement had yet to be prepared. The report identified the key issues that will be covered in the S106 Agreement. In addition, the following items would need to be addressed:
 - a. Confirmation of land acquisition (school site)
 - b. School delivery
 - c. Junction works
 - d. Controlled crossing
 - e. Enhanced parking enforcement
 - f. Parking permit restrictions for future residents
 - g. Retention of Clock Tower block
3. Conditions were summarised in the report. Additional conditions would also be required to cover:
 - a. Secured by Design
 - b. Details of sound insulation
 - c. Lifetime Homes
 - d. Condition survey and heritage statement (Clock Tower)
 - e. Demolition statement (Clock Tower)
 - f. Schedule of works (Clock Tower)
 - g. Detail of works (Clock Tower)
 - h. Retained features / works to make good (Clock Tower)
 - i. Minimum residential space standards
 - j. Reinstatement of Green Belt land

PLANNING COMMITTEE - 12.3.2015

4. The description of development to be amended to reflect the amendment to the access to the school, which would be entered from Hunters Way, rather than Shooters Road.
5. A revised plan had been received supporting the above change.
6. Receipt of 24 further representations: 15 in support of the application and 9 objecting, raising issues already identified.
7. The Further Alterations to the London Plan had now been adopted. The policies contained therein had been considered as part of this application and did not change the recommendation put forward.
8. The deputation of Mr David Flint of Enfield Green Party.
9. The deputation of Mr Dickie Smart, Ridge Crest resident.
10. The statement of Ms Joan Ryan, Labour Parliamentary Candidate for Enfield North.
11. The statement of Councillor Glynis Vince, Highlands Ward Councillor.
12. The statement of Mr Nick de Bois MP, Member of Parliament for Enfield North.
13. The responses of Mr David Sloman, Chief Executive of the Royal Free London NHS Foundation Trust, and Mr Steve Powis, Medical Director of the Royal Free London NHS Foundation Trust, on behalf of the applicant.
14. The statement of Mr Dennis Stacey on behalf of the Conservation Advisory Group.
15. The Head of Traffic & Transportation's responses to points raised regarding highways issues.
16. Members' discussion and questions responded to by officers, noting:
 - a. A condition to be added to require an updated transport assessment 6 months after occupation of the development to monitor the traffic generated by the development and the need for additional mitigations.
 - b. Investigation of the scope for increasing the level of affordable housing if additional external funding could be secured and overall viability not compromised.
 - c. Options to be considered for the retention of other buildings of interest at the Ridgeway entrance to the site, and to ensure an appropriate setting was retained for the Clock Tower building.
 - d. Reserved matters applications for substantive phases of development would be reported to Planning Committee.
 - e. An informative to be attached to the decision notice addressing particular issues raised at Committee.

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17. Following a debate, the officers' recommendation, including the additional conditions, was unanimously approved.

AGREED that, subject to referral to the Greater London Authority, and the completion of a S106 Agreement, the Head of Development Management / Planning Decisions Manager be authorised to grant planning permission, subject to the conditions set out in the report and additional conditions set out above.

428

MINUTES OF THE PLANNING PANEL - CHASE FARM HOSPITAL SITE

RECEIVED the minutes of the Chase Farm Planning Panel held on 7 January 2015 appended to the officers' report for information.

PLANNING COMMITTEE - 24.3.2015

**MINUTES OF THE MEETING OF THE PLANNING COMMITTEE
HELD ON TUESDAY, 24 MARCH 2015**

COUNCILLORS

PRESENT Abdul Abdullahi, Lee Chamberlain, Dogan Delman, Christiana During, Ahmet Hasan, Jansev Jemal, Derek Levy, Anne-Marie Pearce, George Savva MBE and Toby Simon

ABSENT Andy Milne

OFFICERS: Andy Higham (Head of Development Management), Sharon Davidson (Planning Decisions Manager), David B Taylor (Transportation Planning) and Catriona McFarlane (Legal Representative) Jane Creer (Secretary)

Also Attending: Approximately 10 members of the public, applicant and agent representatives
Councillor Dinah Barry, Winchmore Hill Ward Councillor
Dennis Stacey, Chairman – Conservation Advisory Group

451**WELCOME AND APOLOGIES FOR ABSENCE**

Councillor Simon, Chair, welcomed all attendees and explained the order of the meeting.

Apologies for absence were received from Councillor Andy Milne.

452**DECLARATION OF INTERESTS**

There were no declarations of interest.

453**MINUTES OF THE PLANNING COMMITTEE 24 FEBRUARY 2015**

AGREED the minutes of the Planning Committee meeting held on 24 February 2015 as a correct record.

454**REPORT OF THE ASSISTANT DIRECTOR, PLANNING, HIGHWAYS AND TRANSPORTATION (REPORT NO. 200)**

RECEIVED the report of the Assistant Director, Planning, Highways and Transportation (Report No. 200).

455**14/03322/FUL - 2A FARM ROAD, LONDON, N21 3JA**

PLANNING COMMITTEE - 24.3.2015

NOTED

1. The introduction by the Planning Decisions Manager, highlighting the differences between the current application and the scheme refused in December 2004.
2. The receipt of an additional objection from Winchmore Hill Residents' Association.
3. The statement of Councillor Dinah Barry, Winchmore Hill Ward Councillor against the application.
4. The deputation of Mr Brian Foyle on behalf of Winchmore Hill Residents' Association.
5. The response of Mr Peter Tasker, the applicant.
6. Members' discussion and questions responded to by officers.
7. The officers' recommendation was approved unanimously by the Committee.

AGREED that planning permission be granted, subject to the conditions set out in the report.

456

14/03597/FUL - 4-8 VERA AVENUE, LONDON, N21 1RA

NOTED

1. The introduction by the Planning Decisions Manager, highlighting a previous application dismissed at appeal, and differences from the scheme now under consideration.
2. Impact of the proposed extension on the structural stability and condition of the existing building was not a material planning consideration and would be addressed through other controls, including the Building Regulations.
3. An additional condition was recommended to require submission of a bat survey prior to commencement of development and a mitigation strategy to be agreed should this reveal bats are present.
4. The deputation of Mr Simon Barker, resident of one of the flats within the property.
5. The response of Mr Paul Cavill, Hertford Planning Service, agent for the applicant.
6. The comments of Mr Dennis Stacey, Chairman of Conservation Advisory Group.
7. Members' discussion and questions responded to by officers. Concerns were expressed regarding impact on the adjacent conservation area and that the proposed development would be over-dominant in appearance.
8. Following a debate, the officers' recommendation was not approved by the majority of the Committee: 4 votes for, 4 votes against and 2 abstentions. In view of the tied vote, and noting that the majority of the Committee did not feel able to approve the application, the Chair gave his casting vote against the proposal.
9. The proposal that planning permission be refused because the development would detract from the setting of the conservation area and

PLANNING COMMITTEE - 24.3.2015

cause significant harm to the character and appearance of the surrounding area as a result of its height and design was supported by a majority of the Committee: 5 votes for, 3 votes against and 2 abstentions.

AGREED that planning permission be refused for the reason below.

Reason: The proposed development, by reason of the design of the additional floor and resultant height of the building would result in the introduction of an overly dominant form of development detracting from the setting of the Grange Park Conservation Area and would cause significant harm to the character and appearance of the surrounding area. In this respect the development would be contrary to Core Policies 30 and 31 of the Core Strategy, Policies DMD 6, 8, 37 and 44 of Development Management Document, London Plan policies 7.1, 7.4, 7.6 and 7.8, as well as the National Planning Policy Framework (Sections 7 and 12).

457

14/04730/FUL - 29 GARFIELD ROAD, ENFIELD, EN3 4RP

NOTED

1. The introduction by the Planning Decisions Manager.
2. The officers' recommendation was approved unanimously by the Committee.

AGREED that planning permission be granted, subject to the conditions set out in the report.

458

14/04854/FUL - 18 BRIMSDOWN AVENUE, ENFIELD, EN3 5HZ

NOTED

1. The introduction by the Planning Decisions Manager.
2. The officers' recommendation was approved unanimously by the Committee.

AGREED that, subject to the completion of a S106 Agreement, the Planning Decisions Manager / Head of Development Management be authorised to grant planning permission, subject to the conditions set out in the report.

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FUTURE MEETINGS

NOTED

1. The next meeting of the Planning Committee will be held on Tuesday 28 April. The venue will be Rooms 2 & 3, Dugdale Centre, Thomas Hardy House, 39 London Road, Enfield, EN2 6DS.

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2. The Planning Panel meeting regarding Edmonton County School and the multi-use games areas (MUGAs) would be held on Thursday 9 April at Enfield Civic Centre, Conference Room. The Panel would be made up of three members: Councillors Levy, During and Chamberlain (chair).

MUNICIPAL YEAR 2014/2015 - REPORT NO 233

COMMITTEE:
PLANNING COMMITTEE
28.04.2015

AGENDA - PART 1	ITEM 5
SUBJECT - MISCELLANEOUS MATTERS	

REPORT OF:
Assistant Director, Planning,
Highways and Transportation

Contact Officer:
Planning Decisions Manager
Sharon Davidson Tel: 020 8379 3841

5.1 APPLICATIONS DEALT WITH UNDER DELEGATED POWERS INF

5.1.1 In accordance with delegated powers, 349 applications were determined between 11/03/2015 and 19/04/2015, of which 292 were granted and 57 refused.

5.1.2 A Schedule of Decisions is available in the Members' Library.

Background Papers

To be found on files indicated in Schedule.

5.2 PLANNING APPLICATIONS AND APPLICATIONS TO DISPLAY ADVERTISEMENTS DEC

On the Schedules attached to this report I set out my recommendations in respect of planning applications and applications to display advertisements. I also set out in respect of each application a summary of any representations received and any later observations will be reported verbally at your meeting.

Background Papers

- (1) Section 70 of the Town and Country Planning Act 1990 states that the Local Planning Authority shall have regard to the provisions of the development plan, so far as material to the application, and to any other material considerations. Section 54A of that Act, as inserted by the Planning and Compensation Act 1991, states that where in making any determination under the Planning Acts, regard is to be had to the development, the determination shall be made in accordance with the plan unless the material considerations indicate otherwise. The development plan for the London Borough of Enfield is the Unitary Development Plan (UDP).
- (2) Other background papers are those contained within the file, the reference number of which is given in the heading to each application.

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LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 28th April 2015

Report of
Assistant Director,
Planning, Highways &
Transportation

Contact Officer:
Andy Higham 020 8379 3848
Sharon Davidson 020 8379 3841
Mr Ray Reilly 020 8379 5237

Ward:
Cockfosters

Ref: 14/02634/FUL

Category: Full Application

LOCATION: 25 Lancaster Avenue, Barnet, EN4 0EP,

PROPOSAL: Conversion of single family dwelling into 4 self-contained flats comprising (1x1bed, 1x2 bed, 1x3 bed and 1x4 bed units) involving a part lower ground, part ground floor side and rear extension with balcony at first floor rear, rear dormer and rooflights to front and side and associated alterations to the front of the site to include 2 on site car parking spaces, bins and cycle enclosures and associated landscaping.

Applicant Name & Address:

Mr L CHRISTOFOROU
P.O.Box 619
Borehamwood
WD6 9AG
United Kingdom

Agent Name & Address:

Mr Andreas Charalambous
50 NORMAN COURT
395 NETHER STREET
LONDON
London
N3 1QQ
United Kingdom

RECOMMENDATION:

That subject to the completion of a S106 Agreement, the Head of Development Management/Planning Decisions Manager be authorised to **GRANT** planning permission subject to conditions.

Note for Members:

This case would normally be dealt with under delegated authority, but has been put before Planning Committee at the request of Councillor Charalambous due to the level of local objection.

Ref: 14/02634/FUL LOCATION: 25 Lancaster Avenue, Barnet, EN4 0EP,



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Scale 1:1250

North



1.0 Site and Surroundings

- 1.1 The application site is located on the northern side of Lancaster Avenue. The property is a semi-detached house flanked on either side by two residential properties of a similar size and design. The site slopes significantly from the public highway boundary at the front towards the rear of the site, represented by almost a 2 metre drop in land levels from the front of the site to the rear elevation of the house. The surrounding area is pre-dominantly residential in nature, made up of large family detached or semi-detached houses.
- 1.2 The site is located in the Hadley Wood Conservation Area. It has a PTAL of 3.

2.0 Proposal

- 2.1 The application proposes the conversion of the existing single family dwelling into 4 self-contained flats comprising (1x1bed, 1x2 bed and 2x3 bed units), involving a part lower ground, part ground floor side and rear extension with balcony at first floor rear level, rear dormer and rooflights to the front and side.
- 2.2 In relation to the proposed extensions. These comprise:
- A single storey side side extension 3.3 metres wide and 8.2 metres deep with a hipped/pitched roof over to a height of 4 metres at the top of the pitch.
 - Part lower ground and part ground level rear extension to run the same depth as an extension at No. 27 and the full width of the property linking up with the extension. The extension would have a flat roof over with obscure glazed roof lantern. When viewed from the rear garden due to the drop in levels this would have a height 5.2 metres.
 - A rear facing roof terrace on top of part of the ground floor rear extension with glazed balustrade and side screening panels.
 - Rear facing dormer window 2 metres wide, positioned centrally on the roof, three front and three rear facing rooflights.

3.0 Relevant Planning History

- 3.1 14/02639/HOU: Planning permission was granted in September 2014 for a part single storey, part lower ground floor side and rear extension, rear dormer and front and side rooflights. It should be noted that this application granted planning permission for the same extensions and alterations that are currently proposed as part of this application.

4.0 Consultation

4.1 Statutory and non-statutory consultees

Traffic and Transportation:

- 4.1.1 Traffic and Transportation raise no objections to the principle of the development or the level of off-street car parking proposed. Although the PTAL rating is 3 (good) and the level of off-street parking provided could be higher than proposed, Lancaster Avenue has no parking controls and there is capacity for on-street parking in this location. It is considered that the

elements to deal with cycle parking, refuse and the vehicular access can be dealt with by condition.

Tree Officer

- 4.1.2 No objections although there should be conditions assigned in relation to landscaping.

Duchy of Lancaster

- 4.1.3 No objections raised.

4.2 Public

- 4.2.1 Twenty neighbouring and nearby occupiers have been consulted. Following the receipt of amended plans and additional information a further re-consultation was undertaken. In addition, a site notice was also displayed at the site

- 4.2.2 Fifteen letters of objections were received following the initial consultation and 8 further letters were received following the consultation on the revised plans. The objections raised can be summarised as:

- The proposed conversion would be out of character with the Conservation Area.
- It would impact on the appearance and integrity of the adjoining area.
- The scale of the development is wholly out of keeping with the area. It would result in 11 bedrooms which will detract from the character and would cause parking problems.
- The proposal will prejudice parking on the street and the free flow of traffic.
- The intention to turn the front driveway into a car parking area is out of keeping with the street and the conservation area as a whole.
- The loss of the garage door to be replaced by a window would be out of character with the area and other houses on this section of the street.
- There were concerns raised about the scale of the side extension onto the occupants of Number 23. It should be set in 1 metre from the boundary of the site.
- There would be velux windows in the roof of the building which would overlook Number 23. In addition it is considered that the rear terrace would create an impact in terms of overlooking.
- The side facing window of the living room on the first floor would overlook Number 23.
- The proposal would set a negative precedent for other conversions on the street and in the adjoining area.

- 4.2.3 In addition, the Hadley Wood Association have objected to the application raising the following concerns:

- The proposal is out of character with the adjoining area.
- Provision of 4 car parking spaces is totally inadequate; there is already a serious problem on Lancaster Avenue with parking.
- Proposed new window to west side elevation will impact on privacy to Number 23.

5.0 Planning Policy Considerations

5.1 London Plan

- 3.3 Increasing housing supply
- 3.4 Optimising housing potential
- 3.5 Quality and design of housing developments
- 3.8 Housing choice
- 3.9 Mixed and balanced communities
- 3.10 Definition of affordable housing
- 3.11 Co-ordination of housing development and infrastructure
- 5.2 Minimising carbon dioxide emissions
- 5.3 Sustainable design and construction
- 5.7 Renewable energy
- 5.10 Urban greening
- 5.13 Sustainable drainage
- 5.14 Water quality and wastewater infrastructure
- 5.15 Water use and supplies
- 5.16 Water self-sufficiency
- 5.18 Construction, excavation and demolition waste
- 6.9 Cycling
- 6.13 Parking
- 7.1 Building London's neighbourhoods and communities
- 7.2 An inclusive environment
- 7.3 Designing out crime
- 7.4 Local character
- 7.5 Public realm
- 7.6 Architecture
- 7.8 Heritage Assets and Archaeology
- 8.2 Planning Obligations
- 8.3 Community Infrastructure Levy

5.2 Core Strategy

- CP3 Affordable Housing
- CP4 Housing Quality
- CP5 Housing Types
- CP9 Supporting Community Cohesion
- CP20 Sustainable Energy Use and Energy Infrastructure
- CP21 Delivering Sustainable Water Supply, Drainage and Sewerage Infrastructure
- CP30 Maintaining and improving the quality of the built and open environment
- CP31: Built and Landscape Heritage
- CP32 Pollution
- CP46 Infrastructure contributions

5.3 Development Management Document

- DMD 2 Affordable Housing for Developments of less than 10 units
- DMD 3 Providing a Mix of Different Sized Homes
- DMD 5 Residential Conversions
- DMD 6 Residential Character

DMD 7	Development of Garden Land
DMD 8	General Standards for New Residential Development
DMD 9	Amenity Space
DMD10	Distancing
DMD11	Rear Extensions
DMD14	Side Extensions
DMD37	Achieving High Quality and Design-Led Development
DMD38	Design Process
DMD44	Preserving and Enhancing Heritage Assets
DMD45	Parking Standards and Layout
DMD47	New Road, Access and Servicing
DMD49	Sustainable Design and Construction Statements
DMD50	Environmental Assessments Method
DMD51	Energy Efficiency Standards
DMD52	Decentralised Energy Networks
DMD53	Low and Zero Carbon Technology
DMD55	Use of Roofspace/ Vertical Surfaces
DMD58	Water Efficiency
DMD59	Avoiding and Reducing Flood Risk
DMD64	Pollution Control and Assessment
DMD65	Air Quality
DMD68	Noise
DMD69	Light Pollution
DMD72	Open Space Provision
DMD73	Children's Play Space
DMD79	Ecological Enhancements
DMD80	Trees on development sites
DMD81	Landscaping

5.4 Other relevant policy/guidance

National Planning Policy Framework
National Planning Practice Guidance
Enfield Characterisation Study
London Housing Supplementary Planning Guidance
S106 SPD
Hadley Wood Conservation Area Character Appraisal
Article 4 Direction 2006.

6.0 **Analysis**

6.1 The principle issues for consideration under this application are:

- Principle of the Flat Conversion
- Density
- Impact on Character of Conservation Area
- Neighbouring Amenity
- Standard of Accommodation
- Private Amenity Space
- Highways Issues
- S106 Requirements
- Sustainability Issues

6.2 Principle of the Flat Conversion

- 6.2.1 Policy 3.4 of the London Plan promotes the optimisation of housing output within different types of locations. Policy 3.8 of the London Plan also encourages the Council to provide a range of housing choices in order to take account of the various different groups who require different types of housing. The proposal would be compatible with these policies, and Core Policy 2 of the Core Strategy, insofar as it would maintain and increase the Borough's housing stock.
- 6.2.2 The Council commissioned a Strategic Housing Market Assessment (SHMA) which was published in 2010. This formed part of the Council's evidence base for its Core Strategy, which was examined at Public Inquiry and found to be sound by the Secretary of State and subsequently adopted by the Council in November 2010. Its recommendations are expressed in Policy 5 of the Core Strategy.
- 6.2.3 The Policy seeks to ensure that 'new developments offer a range of housing sizes to meet housing needs' and that the Policy should support the Council's plan for a Borough-wide mix of housing that reflects the needs and level of supply identified in the SHMA (2010). The 'Justification' in support of the Policy 5 of the Core Strategy is instructive. In paragraphs 5.40 and 5.41 it is noted that the supply-to-need shortage is most acute for larger dwelling types and that is unlikely that the required supply can be met through new build completions.
- 6.2.4 The Policy requires that the Council, over the lifetime of the Core Strategy, plans for a mix of housing that is 80% houses (mainly 3 and 4-beds) and 20% one and two-bed flats. Given that new build completions are unlikely to meet the required supply of larger family dwellings, the loss of a family house without a suitable replacement cannot be supported if the Council is to meet its requirements under Policy 5 of the Core Strategy.
- 6.2.5 In this respect and where conversion of family homes to flats are proposed, Policy DMD 5 of the Development Management Document states the following:
- Development involving the conversion of existing units into self-contained flats and houses of multiple occupation (HMO) will only be permitted if the following criteria are met. All development must:
- a. Provide a high quality form of accommodation which meets internal floor space standards in the London Plan;
 - b. Not harm the residential character of the area or result in an excessive number or clustering of conversions. The number of conversions: must not exceed 20% of all properties along any road; and only 1 out of a consecutive row of 5 units may be converted.
 - c. Not lead to an unacceptable level of noise and disturbance for occupiers and adjoining properties;
 - d. Incorporate adequate parking and refuse storage arrangements that do not, by design or form, adversely affect the quality of the street scene.

2. For the conversion of existing family units into self contained flats:
 - a. Compensatory provision for family accommodation (3 bedrooms +) is provided within the development.

- 6.2.6 Having regards to the requirements of DMD 5 it is considered the principle of the proposed flat conversion is acceptable. The proposal provides for a net gain of 3 units on the site and following the proposed extensions works all would internal have living space in accordance with and above the London Plan standards. In addition the application proposes 2x3 bed units with access to their own rear garden, both of which would be regarded as acceptable family units. This results in a net gain in one family unit.

- 6.2.7 A site visit and a check of the planning history in Lancaster Avenue indicates that there appear to be no other flat conversions on the street, with the exception of No.33 Lancaster Avenue, which would appear to be a purpose built block of flats. Accordingly, the proposal would not result in either an excessive number or clustering of conversions.

- 6.2.8 Policy DMD 5 also states that conversion proposals should not harm the residential character of the area and that adequate parking and refuse storage arrangements should be provided that do not adversely affect the quality of the street scene. This is particularly important in a conservation area such as this. One of the primary issues identified in the Conservation Area Character Appraisal is the gradual erosion of the green character and appearance of front driveways in the conservation area.

- 6.2.9 Originally the application proposed to completely hard- landscape the front garden area which was considered unacceptable in terms of its impact on the character of the property and the Hadley Wood Conservation Area. To address this, the applicant has submitted amended plans which significantly reduce the area of hard landscaping on the site and now propose just two parking spaces and a pedestrian path, to the front garden, allowing for the retention of the majority of the existing soft landscaped garden area.

- 6.2.10 The plans also originally included storage of bins and cycle stores in the front driveway area. Whilst they could be partly screened by planting, it was considered that this would negatively impact upon the character of the site. This element of the scheme has been changed and the bins and cycle stores have now been incorporated within the building in a newly created storage area behind a new wooden garage style door. This is considered a better arrangement and ensures that refuse storage/cycle storage has no impact on the street scene.

- 6.2.11 It is recognised that a number of objections have been raised in relation to the impact of overspill parking on the street. These have been taken into account. The applicant has produced a parking survey that concludes that only 16% of parking spaces were occupied in the early morning period. This has been taken at face value. Officers have also undertaken site visits on two occasions to assess the application, once at approximately 9am in the morning and on a second occasion around noon, and on both occasions there appeared to be on street parking availability. In addition a lot of the houses on Lancaster Avenue have relatively expansive driveway parking for 2-3 cars. Taking all factors into consideration, although the proposal may

result in some overspill parking, it is considered that this will not be to such an extent that it would cause disruption to residents or lead to conditions prejudicial to highway safety.

6.2.13 In conclusion it is considered the principle of the proposed conversion is acceptable. It would provide for additional living accommodation in the borough in a sustainable location without negatively impacting upon the character and appearance of the site or the conservation area. It is considered compliant with policies CP5 of the Core Strategy and DMD 5 of the Development Management Document.

6.3 Density

6.3.1 Density assessments must acknowledge new guidance outlined in the NPPF and particularly the London Plan, which encourage greater flexibility in the application of policies to promote higher densities, although they must also be appropriate for the area.

6.3.2 Policy 3.4 (Table 3.2) of the London Plan sets standards for appropriate density levels with regards to location, existing building form, massing, and having regard to the PTAL (Public Transport Accessibility Level) score,. A total of 15 habitable rooms would be provided on the site which has an area of 0.1434 hectares. According to the guidance in (Table 3.2) of the London Plan, an overall density of between 150-250hr/ha may be acceptable. The development proposed equates to 105 hr/ha.

6.4 Impact on Character of Conservation Area

6.4.1 One of the primary issues for consideration regarding this application is the impact of the proposal on the character and appearance of the Hadley Wood Conservation Area.

Statutory / Policy background

6.4.2 Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 ("Listed Buildings Act") confirms that "*special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.*" Case law has established that where an authority finds that a development proposal would harm the setting of a listed building or the character and appearance of a conservation area, it must give that harm "*considerable importance and weight*" (Barnwell Manor Wind Energy Ltd v East Northamptonshire District Council [2014] EWCA Civ 137).

6.4.3 Section 12 of the National Planning Policy Framework ("NPPF") (Conserving and enhancing the historic environment) advises LPAs to recognise heritage assets as an "*irreplaceable resource*" and to "*conserve them in a manner appropriate to their significance*" (para. 126).

6.4.4 When determining planning applications, LPAs are advised to take into account of:

- "*the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;*

- *the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and*
- *the desirability of new development making a positive contribution to local character and distinctiveness” (para.131)*

6.4.5 Paragraph 132 confirms that it is the significance of the heritage asset upon which a development proposal is considered and that “*great weight should be given to the asset’s conservation*”. LPAs need to consider whether a proposed development will lead to substantial harm to or total loss of significance of a designated heritage asset. Proposals that lead to substantial harm or loss to a designated heritage asset should be refused unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh the harm or loss, or it meets with the test identified at paragraph 133. Where a development will lead to less than substantial harm, the harm is to be weighed against the public benefits of the proposal, including securing its optimum viable use (para. 134).

6.4.6 The National Planning Practice Guidance (“NPPG”) provides some guidance on the term “public benefit” at paragraph 20:

“Public benefits may follow from many developments and could be anything that delivers economic, social or environmental progress as described in the National Planning Policy Framework (Paragraph 7). Public benefits should flow from the proposed development. They should be of a nature or scale to be of benefit to the public at large and should not just be a private benefit. However, benefits do not always have to be visible or accessible to the public in order to be genuine public benefits.

- *Public benefits may include heritage benefits, such as:*
- *sustaining or enhancing the significance of a heritage asset and the contribution of its setting*
- *reducing or removing risks to a heritage asset*
- *securing the optimum viable use of a heritage asset in support of its long term conservation”*

6.4.7 A “benefit” is not limited solely to heritage benefits but also to all material planning benefits arising from a particular scheme, providing that they meet with the relevant policy tests for conditions and obligations.

6.4.8 The NPPG also advises that the conservation of heritage assets in a manner appropriate to their significance is a core planning principle. It also advises that conservation is an “*active process of maintenance and managing change*”. Heritage assets are an irreplaceable resource and effective conservation delivers wider social, cultural, economic and environmental benefits.

6.4.9 Significance, as advised within the NPPF derives not only from a heritage asset’s physical presence but also from its setting. When assessing significance, it is advised that great weight should be given to the asset’s conservation and the more important the asset, the greater the weight to be applied. Where a development leads to less than substantial harm to the significance of the heritage asset, the harm should be weighed against the public benefits of the proposal, including its optimum viable use. The NPPG advises that what matters in assessing if a proposal causes substantial harm

is the impact on the significance of the heritage asset. It does also advise that 'substantial harm' is a high test, so may not arise in many cases.

- 6.4.10 Policies 7.4 of the London Plan and CP30 of the Local Plan seek to ensure that new developments have appropriate regard to their surroundings, and that they improve the environment in terms of visual and residential amenity. Additionally DMD44 of the DMD states that developments that fail to conserve and enhance the special interest, significance or setting of a heritage asset will normally be refused. Development affecting heritage assets or their setting should seek to complement the asset in all aspects of its design, materials and detailing.
- 6.4.11 As stated earlier the proposed extensions and alterations forming part of this application have already been approved under 14/02639/HOU and found to result in no harm to the character and appearance of the conservation area. Accordingly, these are not further considered as part of this section of the report. The issue to consider in relation to the current application is whether the conversion of the extended property into flats, along with the associated external works associated with the provision of parking spaces in part of the front garden, would in themselves result in 'harm'.
- 6.4.12 The previously approved plans included the provision of a garage within the side extension and therefore presented a garage door to the front elevation of the extension. The current proposals involve the use of this space for a refuse and cycle store. As a consequence the width of the door opening has reduced and the doors would open conventionally, rather than an up and over garage door. Amended plans have been received to ensure the doors incorporated are timber doors. This modest change to the front elevation of the side extension, compared to the previously approved extensions, would not result in harm to the character or appearance of the conservation area.
- 6.4.13 The conversion of the property into flats is generating a need to provide some off street parking. The existing property presently has the benefit of a garage to the side and there is a rough surfaced driveway leading to this garage. The application originally proposed the surfacing of the entire front garden in order to accommodate parking. This was not considered acceptable. The revised proposals now provide for surfacing to accommodate two parking spaces and a pedestrian pathway. This results in a loss of a small section of boundary hedging to the site frontage and the surfacing of approximately a third of the front garden to accommodate two parking spaces, a pedestrian pathway and hard surfaced area around the existing entrance door and in front of the refuse/cycle store. The existing pedestrian pathway leading to the front door would be reinstated as soft landscaping and the hedging across the frontage would be reinstated. The submitted drawings also provide for the introduction of soft landscaping to the boundary of the site with No23, where none presently exists, and behind the parking spaces.
- 6.4.14 The Hadley Wood Conservation Area Character Appraisal recognises that front gardens make a particularly important contribution to the informality and spaciousness of the area. The Character Appraisal acknowledges that it may be possible to accommodate a small area of hard standing without seriously affecting the appearance of the area, but notes that now a number of houses feature large expanses of tarmac or paving. This results in the loss of most of

the planting and front gardens and seriously detracts from the green and leafy character of the area.

- 6.4.15 It is considered that the amended plans provide for a modest area of hardstanding, as the Character Area Appraisal recognises as being possible to accommodate without seriously affecting the appearance of the area. The proposals also provide for enhancement to the remaining area of garden, such as to ensure that the overall the impact on the conservation area is considered to be neutral.
- 6.4.16 The internal works to the property to create 4 flats would have no external impact.
- 6.4.17 In summary, it is considered that the proposed development would not harm the character or appearance of the conservation area.

6.5 Neighbouring Amenity

- 6.5.1 From the perspective of neighbouring amenity the main properties to take into consideration are those on either side at Numbers 23 and 27. The extensions forming part of this application are the same as those already granted planning permission under reference 14/02639/HOU and therefore the impact of these on the amenities of the occupiers of these properties has already been considered and found to be acceptable.

Impact on Number 23

- 6.5.2 The objections from the residents of Number 23 in relation to the proposed extensions have been considered. The proposed side extension would extend the property closer to No.23 than the existing property. However, it is not adjudged to cause harm to their amenity. It would be separated by an average distance of 4.5m from the side elevation and it is considered that it would not be unduly overbearing or cause an unacceptable sense of enclosure or loss of outlook.
- 6.5.3 Due to the orientation and position of the existing garage at the rear of Number 23 at ground floor level it is considered that the proposed extensions to the rear of Number 25 would not have a materially noticeable impact to the occupants of Number 23.
- 6.5.4 Additionally whilst a roof terrace is proposed at first floor level, taking into account the tapered nature of the sites to one another and the fact that they are relatively wide and expansive, coupled with the fact that the terrace would be recessed in behind the roof lantern along with timber privacy screens on either side, it is considered that this would not give rise to overlooking or a loss of privacy.
- 6.5.5 The neighbours at Number 23 have also raised concerns about the proposed side window at first floor level within Flat 3. These comments have been noted. A condition is recommended to ensure that any side windows are obscured glazed and fixed shut to a height of 1.7m above floor level to safeguard privacy.

Impact onto Number 27

- 6.5.6 The impact of the proposal onto Number 27 is also considered to be acceptable. The part lower and upper ground floor rear extension would not project beyond the existing rear extension at Number 27 with the exception of a small step in the centre of the extension. Therefore there would be no impact on outlook or light. Having regard to the first floor level of Number 27 the proposed extension including the proposed roof terrace and associated screening would not break a 30 degree line of sight from the nearest habitable room window in accordance with DMD11. The application also propose relatively extensive works at basement/ lower ground level. However, these would not have any impact on light, outlook or privacy. The impact of construction work on the structural stability of the adjoining property would be addressed through the Building Regulations and/or the Party Wall Act.
- 6.5.7 The proposed roof terrace would be set in 5 metres from the boundary between the properties with the immediate sides of the terrace screened from direct view by a 1.8 metre timber screen on either side. Given this it is considered that no undue overlooking or loss of privacy would result.
- 6.5.8 In conclusion it is considered that this terrace and the proposed extensions in their entirety have an acceptable impact onto the occupiers of Number 27. It is considered necessary to assign a condition to ensure that the flat roof outside of the living room of flat is not used as a terrace.

6.6 Standard of Accommodation including Private Amenity

- 6.6.1 The application proposes 1x1 bed, 1x2 bed and 2x3 bed units. The 2x3 bed units would be split level over lower ground floor and ground levels. Both flats are expansive units at 139sqm and 158 sqm respectively, well in excess of the minimum London Plan requirements of 93sqm. All the individual rooms are large and spacious and the layout of both units is very accessible. They would both be dual aspect and have access to their own rear garden areas at 165 and 186 sqm respectively. It is considered they would provide for a very good standard of family accommodation.
- 6.6.2 The proposed 1x1 bed flat at first floor level is 56sqm thereby in excess of the minimum standard of 50sqm. The main living/kitchen area and bedroom are both of an acceptable size individually. This flat would have access onto its own terrace area outside at first floor level, which would be 11sqm in area.
- 6.6.3 The 4th flat is a 1x2 bed flat split over first floor and loft levels. This flat would have an area of approximately 103sqm internally, in excess of the London Plan standard of 70sqm. There would be a large living/ kitchen room 42sqm in area with both bedrooms and bathroom facilities in the loft space. Both of the bedrooms would be of a sufficient area and whilst it is recognised part of those rooms would have a limited floor to ceiling height, they would provide for functional bedrooms.
- 6.6.4 It is acknowledged that this flat would have no access to a dedicated private amenity space in accordance with DMD9. Whilst a terrace to the rear of the flat at first floor level would be physically possible it would have an unacceptable impact onto the amenity of the occupants of Number 27 . Having regard to this, the fact that this is a conversion with inherent constraints on the ability to provide dedicated private amenity space, and when balanced against the Borough's housing need, the breach in policy is considered acceptable in this instance.

- 6.6.5 On balance of all factors and for the reasons outlined as above it is considered the standard of accommodation proposed is acceptable having regard to policy DMD 6, 8 and 9 and Policy 3.5 of the London Plan.

6.7 Traffic and Highways Issues

- 6.7.1 Traffic and Transportation have raised no objection to the principle of the development or the level of off-street car parking proposed. Although the PTAL rating is 3 and the level of off-street parking provided could be higher than proposed, Lancaster Avenue has no parking controls and there is capacity for on-street parking in this location.
- 6.7.3 It is recognised that objections have been received from residents siting concerns about additional on street parking on top of existing commuter parking levels in the area. However, as referred to earlier in the report, officers have visited the site on two occasions during the process of the application and there was a high level of on street parking availability. The site is in a relatively accessible location in terms of public transport. In addition, the majority of houses on Lancaster Avenue have driveway parking for at least two car parking spaces. Therefore even if this proposal were to increase on street parking in the area it is highly unlikely that it would result in parking displacement and an unacceptable level of disturbance to existing residents.
- 6.7.4 Traffic and Transportation have raised issues in relation to the combination of the bins stores and cycle parking. However, it is considered that they are located in the only place possible so as to not create an impact to the visual amenity of the site. There were also queries raised in relation to the proposed access to the site in relation to pedestrian visibility and the need to relocate a lamp column on site. However it has been suggested that this query can be dealt with via a pre-commencement planning condition.

6.8 S106 Requirements

- 6.8.1 On 28th November 2014 the Government introduced immediate changes to the National Planning Practice Guidance to state that contributions for affordable housing and tariff style planning obligations should not be sought for small scale and self-build developments containing 10 units or less with a gross area of no more than 1000sq.m. In the light of the implications for this for the Councils adopted DMD policy, a report was taken to the Local Plan Cabinet Sub Committee on 15th January 2015. At the meeting and in the light of guidance issued, Members agreed the approach set out below for dealing with planning applications and as the basis for future consultation on the revised S106 SPD.
- 6.8.2 Education contributions will no longer be required for developments of less than 11 units.
- 6.8.3 Affordable housing contributions may still be sought for developments of 1-9 units in accordance with the following:

6.8.4 Individuals and self-builders will be exempt from requiring to pay affordable housing contributions; Contributions may continue to be required from other developers subject to viability testing, with a view to ensuring that contributions do not result in a disproportionate burden and an obstacle to the delivery of housing.

6.8.5 In this instance the applicant has confirmed that they are a small scale developer. Subsequently a review of the viability of the scheme has been conducted and overseen by the councils independently appointed viability assessor. Taking into account the viability of the scheme along with the allowances for Vacant Building Credit as outlined in Chapter 7 of the councils draft S106 SPD a figure of £65,464.57 has been agreed towards off site affordable housing contributions, with an additional £ 3,273.23 towards a S106 Monitoring Fee. This would be secured via a legal agreement t should the proposal be granted planning permission.

6.9 Sustainability Issues

6.9.1 As part of their application the applicant has submitted an Energy Statement and Code for Sustainable Homes Pre- Assessment. Overall it is considered that the information submitted is acceptable, and relevant conditions have been suggested.

7.0 Conclusion

7.1 It is considered that the proposed extensions and the conversion of the property would not harm the character or appearance of the conservation area or have an unacceptable impact on the amenities of adjoining residents. The standard of accommodation for all proposed units is acceptable and the scheme will make a contribution to the Borough's housing stock, including the provision of two family sized flats with garden access. The proposal is unlikely to have an impact to highway function and safety. Accordingly, it is considered that the proposed development is acceptable.

8.0 Recommendation

8.1 That subject to the completion of a S106 Agreement, the Head of Development Management/Planning Decisions Manager be authorised to **GRANT** planning permission subject to conditions.

1. C60 Approved Plans
2. C07 Details of Materials
3. C09 Details of Hard Surfacing
5. C16 Private Vehicles Only - Parking Areas
6. C17 Details of Landscaping
7. C19 Details of Refuse Storage & Recycling Facilities

8. C24 Obscured Glazing (Proposed Side Elevation)
9. C25 No additional Fenestration
11. C59 Cycle parking spaces
12. The balcony screens for the proposed terrace as shown on Drawing Numbers LANC/H/14/A/10 Rev A and LANC/H/14/A/13 Rev A shall be implemented prior to completion of the proposed works and retained in perpetuity.

Reason: In the interest of neighbouring amenity.

13. The proposed roof lantern shall be fitted with obscure glazing.

Reason: To protect the amenity of future occupier of the proposed ground floor unit.

14. C26 Restriction of Use of Extension Roof to the rear of Flat 4 as on Drawing Number LANC/H/14/A/10 Rev A.

15. Notwithstanding the submitted plans, the development shall not commence until detailed drawings showing the means of access to the development including the siting, levels, materials, parking layout, visibility splays, relocation of existing lamp post and street lighting have been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details before it is occupied. Reason: To ensure that the development complies with Unitary Development Plan Policies and does not prejudice conditions of safety or traffic flow on adjoining highways.

16. Development shall not commence until evidence in the form of a revised design stage assessment conducted by an accredited Code for Sustainable Homes Assessor and supported by relevant BRE interim certificate, has been provided and approved in writing by the Local Planning Authority. The evidence provided shall confirm that the dwellings can achieve a Code for Sustainable Homes rating of no less than Code Level 4.

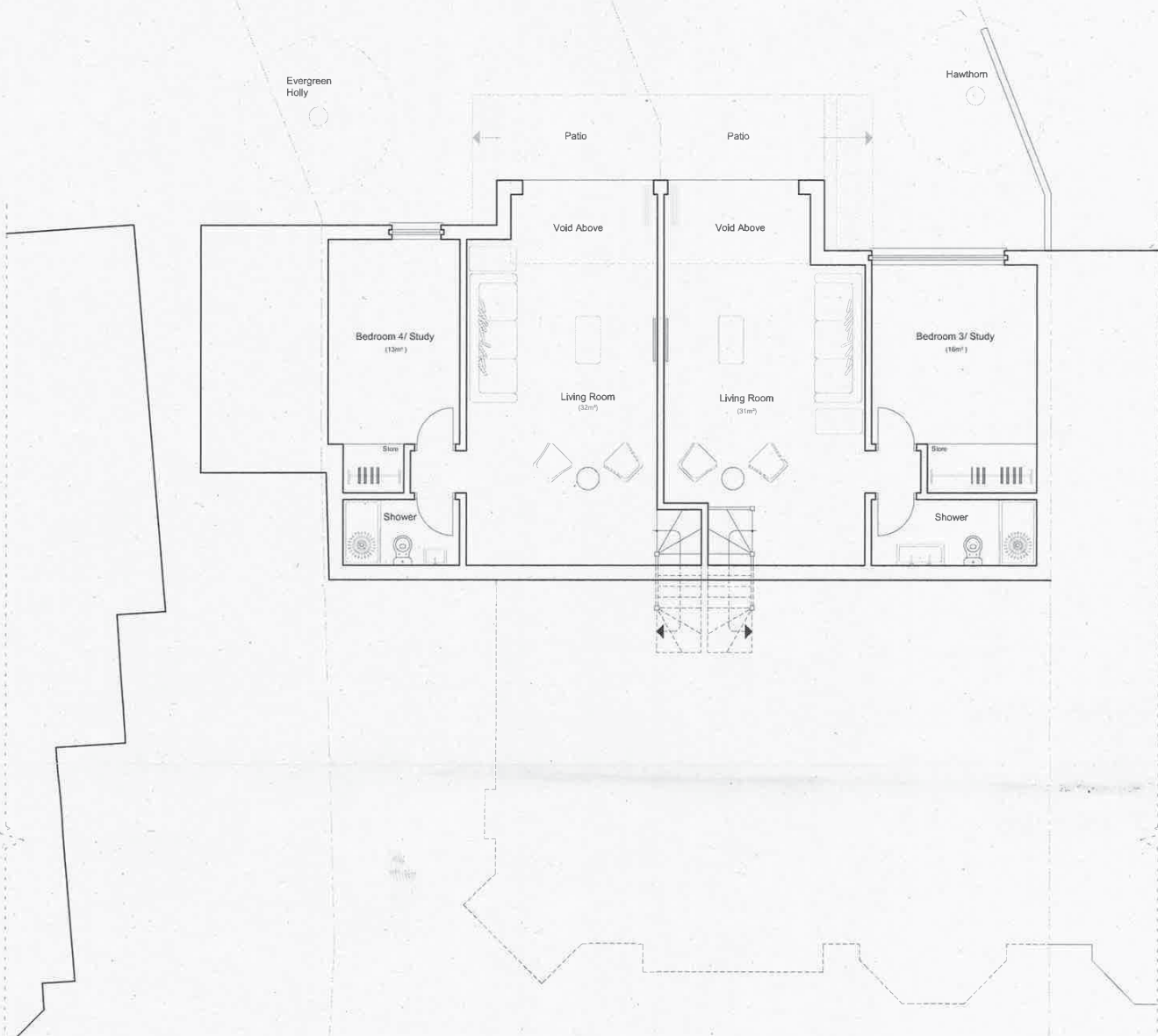
The development shall be carried out strictly in accordance with the details so approved, shall be maintained as such thereafter and no change there from shall take place without the prior written approval of the Local Planning Authority.

Reason: In the interests of addressing climate change and to secure sustainable development in accordance with adopted Policy.

17. C51A Time Limited Permission

Rear Garden
(Flat 1: Amenity Area 165m²)

Rear Garden
(Flat 2: Amenity Area 186m²)



23
Lancaster
Avenue

27
Lancaster
Avenue

London Plan Policy 3.5 Table 3.3 Minimum Space & Floor Standards;		
Dwelling type (bedroom (b)/ persons-bedspaces (p))	GIA (sqm) (London Plan)	- As Proposed
Flat 1 (4b/ 7p) =	(99 m ²)	- 148 m ² / 1584 ft
Flat 2 (3b/ 6p) =	(93 m ²)	- 159 m ² / 1701 ft
Flat 3 (3b/ 6p) =	(93 m ²)	- 107 m ² / 1145 ft ²
Flat 4 (1b/ 2p) =	(50 m ²)	- 52 m ² / 556 ft ²

Proposed Lower Ground Floor Plan

Notes
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Rev. / Date
Drawing Status
Planning

Project
25 Lancaster Avenue
Barnet EN4 0EP

Project Description
Proposed Conversion Into 4 Self-Contained flats with Single Storey Side & Rear Extensions, Rear Dormer & Conservation Rooflights;

Drawing Name
Proposed Lower Ground Floor Plan

Date
01/07/2014

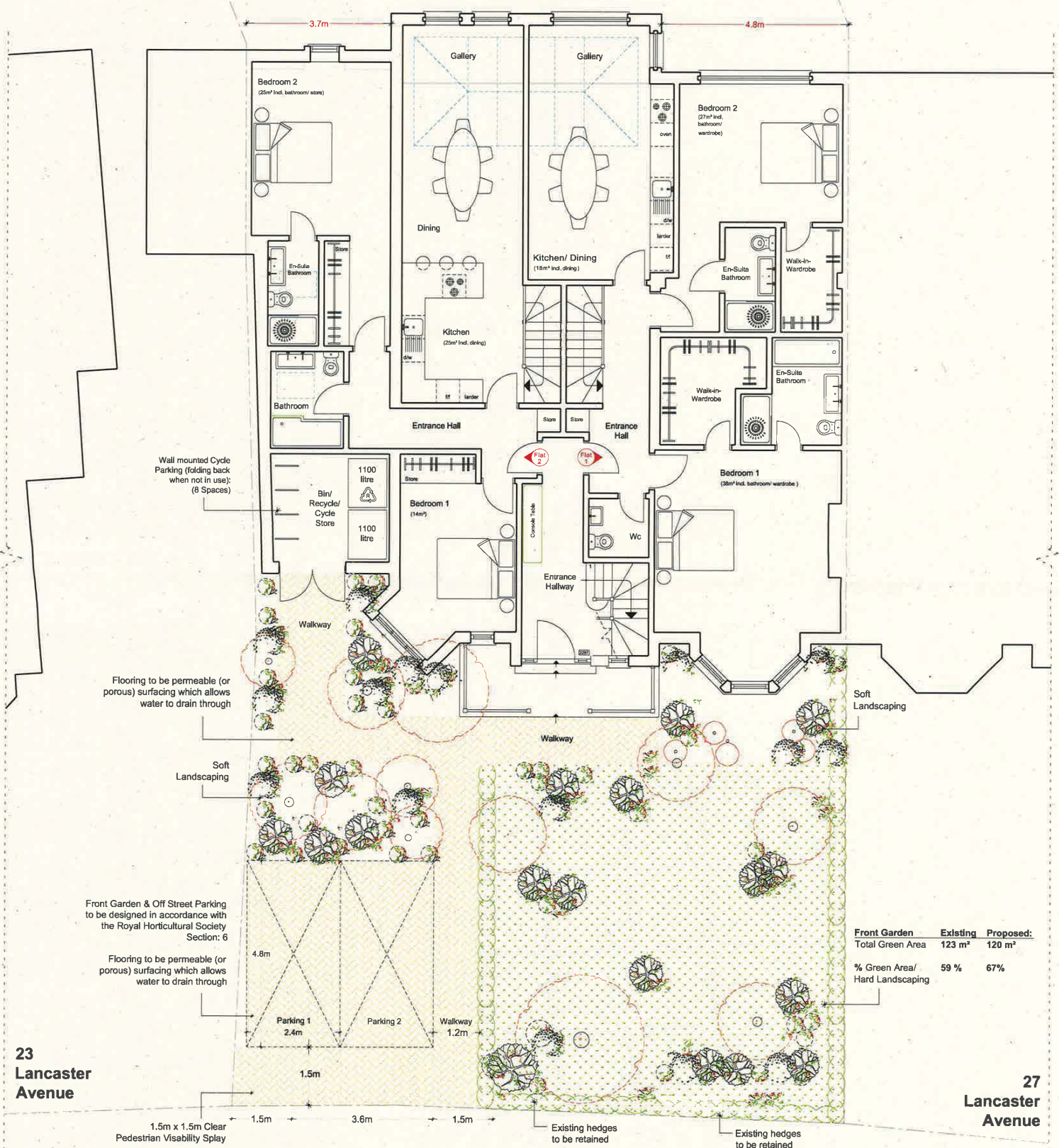
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LANC/F/14/A/08

Rev.

London Plan Policy 3.5 Table 3.3 Minimum Space & Floor Standards;		
Dwelling type (bedroom (b)/ persons-bedspaces (p))	GIA (sqm) (London Plan)	- As Proposed
Flat 1 (3b/ 6p) =	(93 m ²)	- 158 m ² / 1691 ft ²
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Flat 3 (1b/ 2p) =	(50 m ²)	- 56 m ² / 599 ft ²
Flat 4 (2b/ 4p) =	(70 m ²)	- 103 m ² / 1102 ft ²

Soundproofing between Flats to be 3db above minimum Building Regulations Requirements



Front Garden	Existing	Proposed:
Total Green Area	123 m ²	120 m ²
% Green Area/ Hard Landscaping	59 %	67%

Proposed Ground Floor Plan

23 Lancaster Avenue

27 Lancaster Avenue



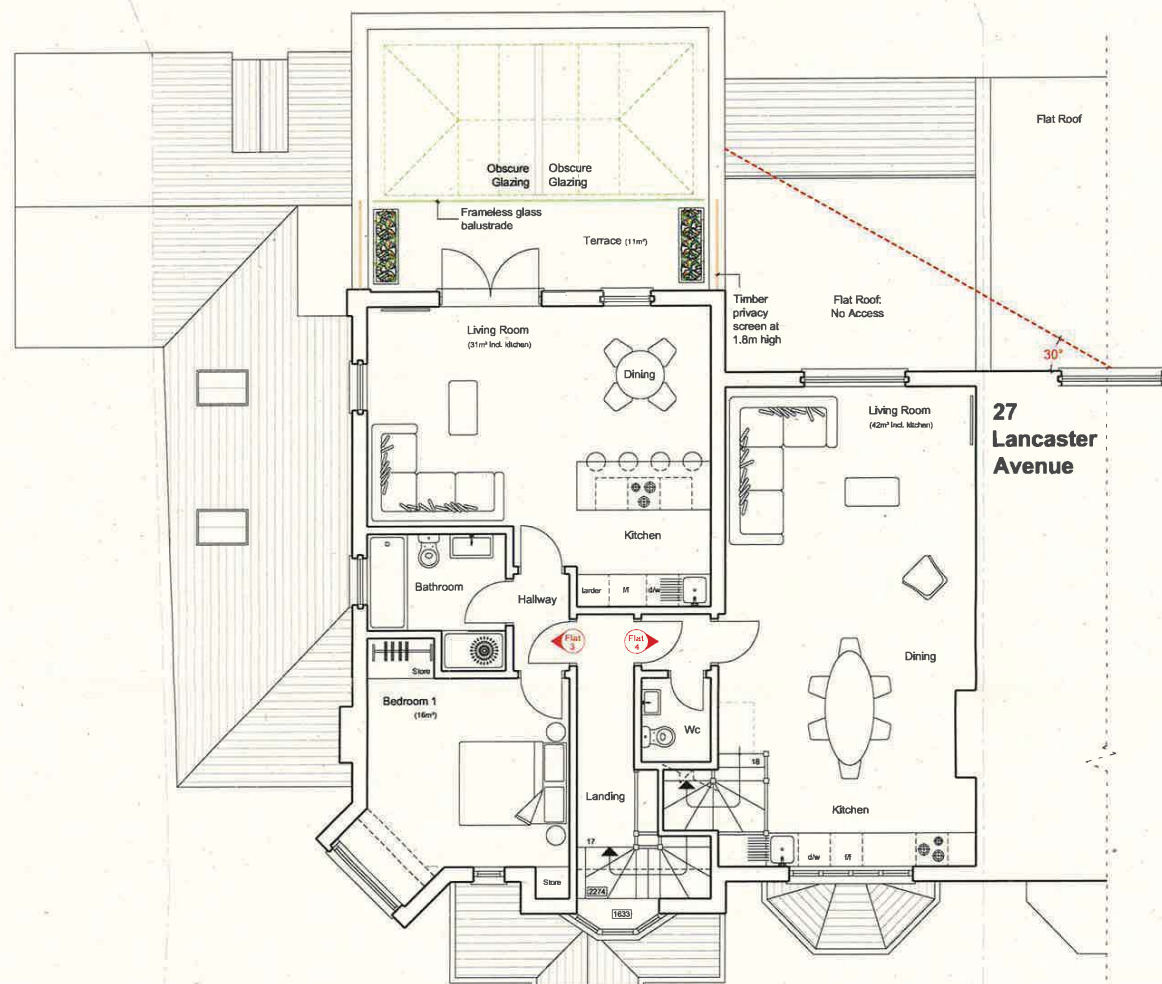
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C 25/03/15	Bin/ cycle store relocated. Window replaced with timber doors = Flat 2 revised.
B 30/10/14	Off-street parking/ Bin Store Revised
A 27/10/14	Window removed to west elevation. Off-street parking/ Bin Store Revised & Layouts to Flats 3 + 4 revised
Rev. Date	
Drawing Status	Project
Planning	25 Lancaster Avenue Barnet EN4 0EP
	Project Description
	Proposed Conversion Into 4 Self-Contained Flats with Single Storey Side & Rear Extensions, Rear Dormer & Conservation Rooflights;

Drawing Name	Date	Scale:	Drw. No.	Rev.
Proposed Ground Floor Plan	01/07/2014	1:100 @ A3	LANC/F/14/A/09	C

London Plan Policy 3.5 Table 3.3 Minimum Space & Floor Standards;		
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Flat 4 (2b/ 4p) =	(70 m ²)	- 103 m ² / 1102 ft ²

Soundproofing between Flats to be 3db above minimum Building Regulations Requirements



Proposed First Floor Plan

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A 27/10/14
Rev: Date
Drawing Status
Planning

Project
**25 Lancaster Avenue
Barnet EN4 0EP**

Project Description
Proposed Conversion into 4 Self-Contained flats with Single Storey Side & Rear Extensions, Rear Dormer & Conservation Rooflights;

Drawing Name
Proposed First Floor Plan

Date
01/07/2014

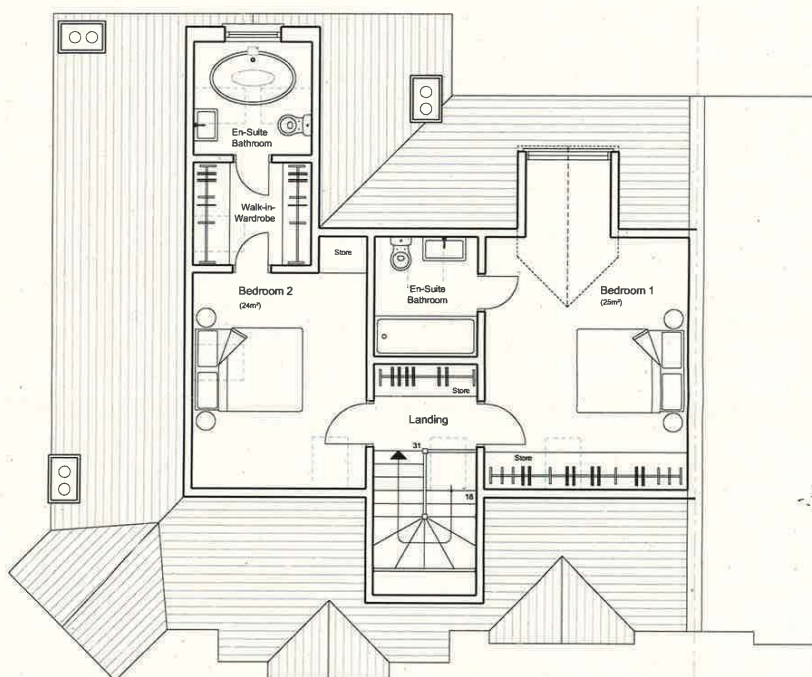
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LANC/F14/A/10

Rev.
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London Plan Policy 3.5 Table 3.3 Minimum Space & Floor Standards;		
Dwelling type (bedroom (b)/ persons-bedspaces (p))	GIA (sqm) (London Plan)	- As Proposed
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Flat 4 (2b/ 4p) =	(70 m ²)	- 103 m ² / 1102 ft ²

Soundproofing between Flats to be 3db above minimum Building Regulations Requirements



23
Lancaster
Avenue

27
Lancaster
Avenue

Proposed Second Floor Plan

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A 27/10/14
Rev Date
Drawing Status
Planning

Project
**25 Lancaster Avenue
Barnet EN4 0EP**

Project Description
**Proposed Conversion into 4 Self-Contained flats with Single Storey Side & Rear
Extensions, Rear Dormer & Conservation Rooflights;**

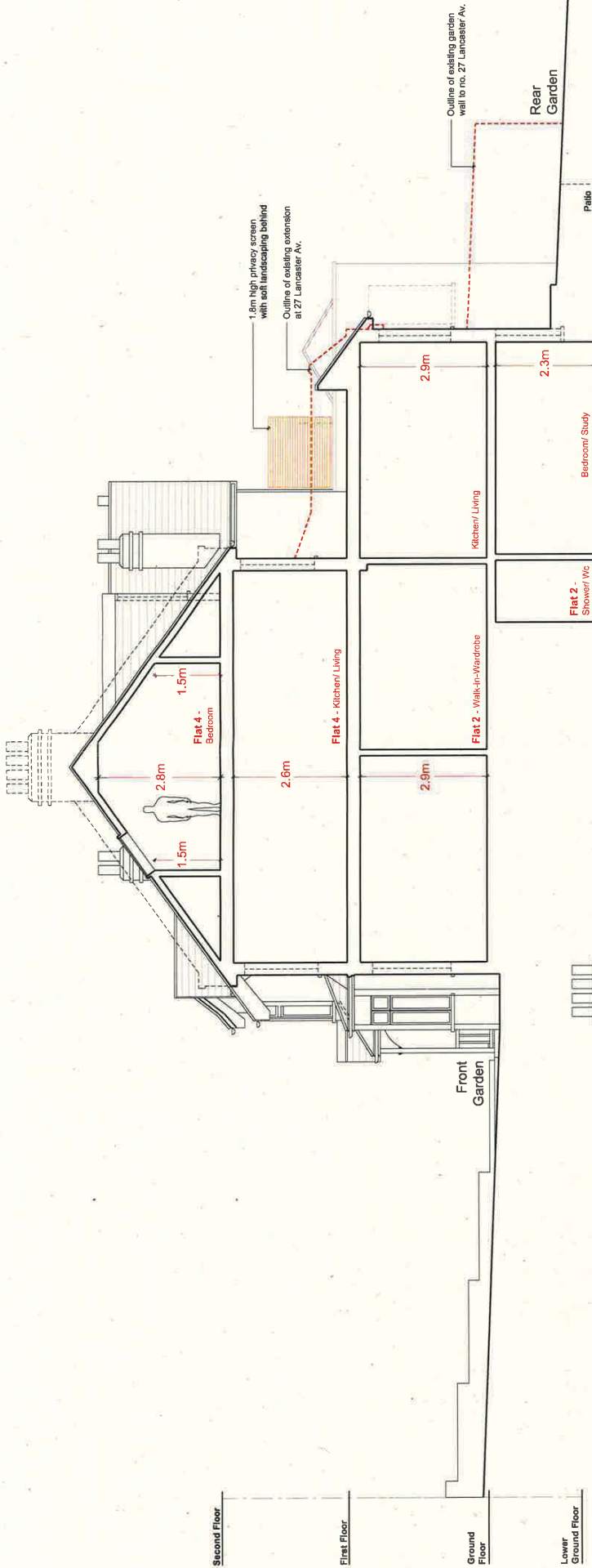
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Plan**

Date
01/07/2014

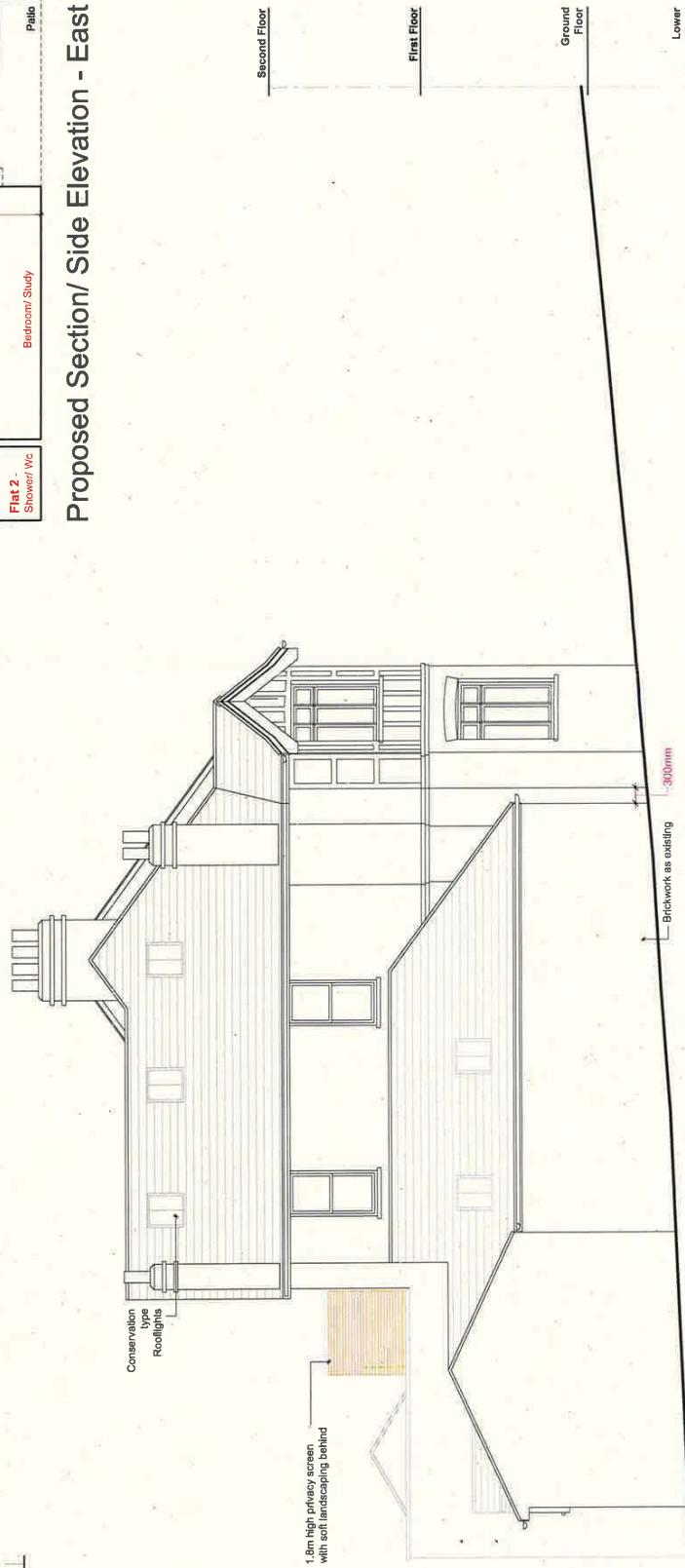
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Org. No.
LANC/F14/A/11

Rev.
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Proposed Section/ Side Elevation - East



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Proposed Side Elevation - West

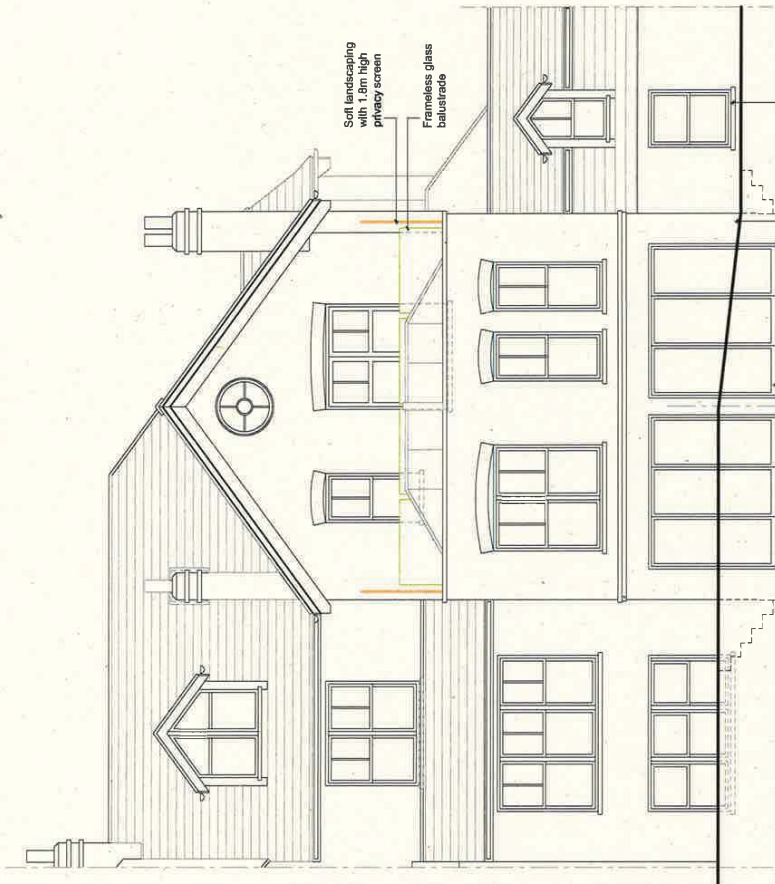
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Project: 25 Lancaster Avenue
 Barnet EN6 0EP
 Planning

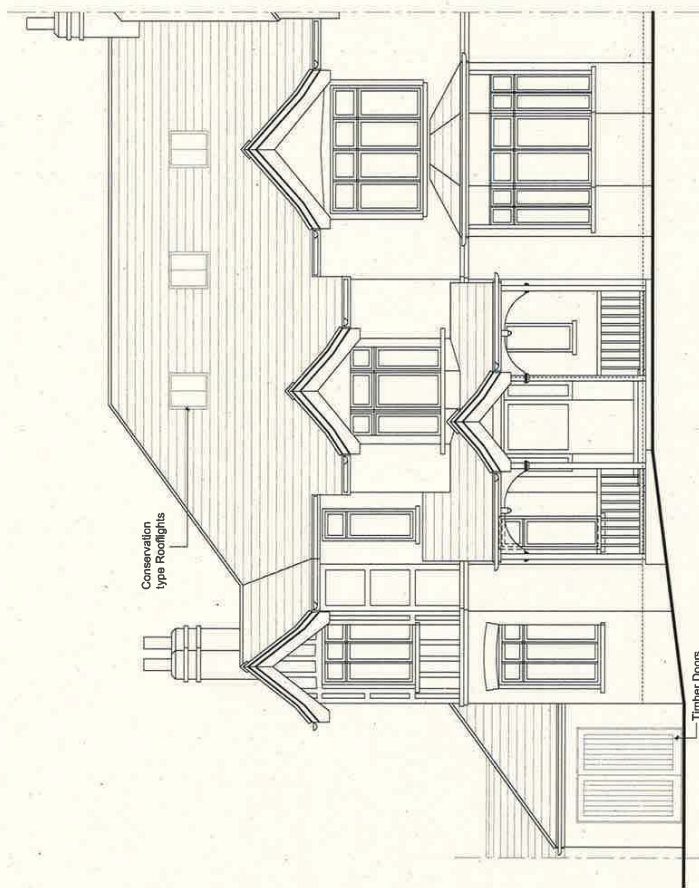
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Drawing Name:
 Proposed Elevations

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 Dwg. No.: LANCIF14A14_A
 Rev.

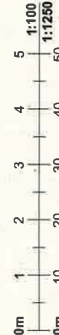


Proposed Rear Elevation



Proposed Front Elevation

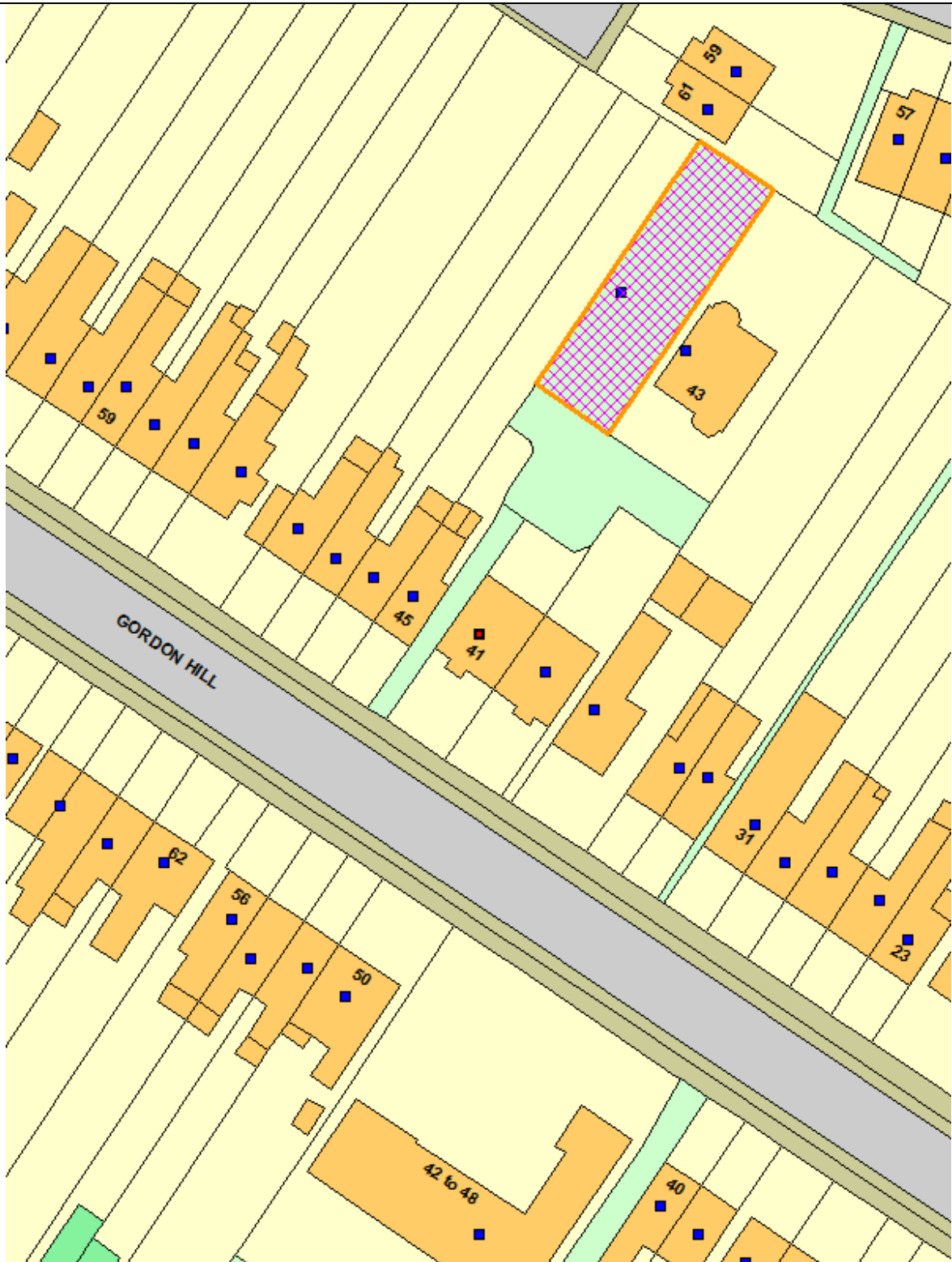
Notes
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<p>Andreas + Buxton Associates CHARTERED ARCHITECT + INTERIOR DESIGNERS 50 Norman Court, 395 Nether Street, London N3 1QQ UK T: +44 (0)20 7637 1425 E: andreas@abuxton.com</p>		<p>Project Description Proposed Extension, Rear Dormer & Conservation Rooflights, Extension, Rear Dormer & Conservation Rooflights, Barnet EM (EP)</p>	<p>Drawing Name Proposed Elevations</p>	<p>Date 9/10/2014</p>	<p>Dwg. No. LANC/F/14/M/13 A</p>
<p>Project 2000014 (Rev. 2) cycle time reduced. Window replaced with timber door + 2x1.2m rooflight.</p>		<p>Project 2000014 (Rev. 2) cycle time reduced. Window replaced with timber door + 2x1.2m rooflight.</p>	<p>Scale 1:100 @ A3</p>	<p>Rev. A</p>	<p>Rev. A</p>

LONDON BOROUGH OF ENFIELD		
PLANNING COMMITTEE		Date : 28th April 2015
Report of Assistant Director, Planning, Highways & Transportation	Contact Officer: Andy Higham 020 8379 3848 Sharon Davidson 020 8379 3841 Ms M Demetri 02083796843	Ward: Town
Ref: 15/00453/FUL		Category: Full Application
LOCATION: Rear Of 41-45, Gordon Hill, Enfield, EN2 0QS		
PROPOSAL: Erection of a detached 2-storey, 3-bed single family dwelling house with off street parking at front and solar panels to roof.		
Applicant Name & Address: Mr A HALIL BOWLING AND CO 62 BROADWAY STRATFORD LONDON E15 1NG United Kingdom		Agent Name & Address: Mr Graham Fisher 1 Woodlands Avenue Wanstead Greater London E11 3RA United Kingdom
RECOMMENDATION: That planning permission be GRANTED subject to conditions.		

Ref: 15/00453/FUL LOCATION: Rear Of 41-45, Gordon Hill, Enfield, EN2 0QS



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Scale 1:1250

North



1.0 Site and Surroundings

- 1.1 The site is a plot of land situated to the rear of 41, 41A and 45 Gordon Hill. The plot of land is presently enclosed by a 2m high enclosure and was made up of rubble, soil and other such materials. The plot of land is situated next to 43 Gordon Hill, a chalet bungalow which was erected to the rear of 39 to 41 Gordon Hill, a plot of land previously occupied by a garage court. The site is accessed via the existing access road between 41, 41A and 45 Gordon Hill, which also serves number 43 Gordon Hill.

2.0 Proposal

- 2.1 The application proposes the erection of a detached 3 bedroom dwelling house associated amenity at the rear and car parking space. The dwelling would be two storeys in height, with the ridge standing slightly above the ridge height of the existing dwelling at No.43. The property would have a shallow pitched roof, with the first floor accommodation being located partly within the roof space. All access to the property would be from Gordon Hill, as per the existing arrangement with number 43 Gordon Hill.

3.0 Relevant Planning Decisions

- 3.1 TP/10/0519 (Land to the rear of 41 to 47 Gordon Hill). Planning permission refused on 16th April 2010 for the erection of a 2-storey block of 2 semi-detached 3-bedroom single family dwellings with off street parking. For the following reasons:

- 1 The proposed development by virtue of its size, siting, scale, bulk, massing, layout, design and proximity to boundaries would constitute an overdevelopment of the site resulting in a dominant and overbearing form of development out of keeping and character with the surrounding pattern of development and detrimental to the amenities of nearby residents contrary to Policies (I)GD1, (I)GD2 and (II)GD3, of the Unitary Development Plan with Policies 3A.3, 4B.1 and 4B.8 of the London Plan, and with PPS1: Delivering sustainable development and PPS3: Housing.
- 2 The proposed further intensification of the use of the existing access into the site having regard to its restricted width and scale of development proposed would result in increased vehicular and pedestrian activity passing close to the windows and doors of No 41A Gordon Hill giving rise to additional loss of privacy and disturbance to the residents contrary to Policies (I) GD1, (I) GD2, (II) GD3 and (II) H8 of the Unitary Development Plan.
- 3 The proposed further intensification of the use of the existing access into the site having regard to its restricted width and scale of development proposed, would not make satisfactory provision for pedestrian and vehicular access in accordance with the standards adopted by the Council and would therefore compromise highway safety including pedestrian safety detrimental to the free flow of traffic contrary to Policies (II) GD6, (II) GD8, (II) T13 and (II) T16 of the Unitary Development Plan.

4.0 Consultations

4.1 Statutory and non-statutory consultees

4.1.1 Traffic and Transportation

No objection is raised to the proposed scheme subject to conditions.

4.1.2 Thames Water

No objection raised subject to the standard informatives.

4.2 **Public response**

4.2.1 Letters were sent to 19 neighbours. In total 4 letters of objections have been received and 1 letter of support has been received. In summary the objections are as follows:

- Out of character.
- There are no trees on the adjacent plot.
- The rear aspects of Gordon Hill and Youngmans Close are pleasing.
- The widths of the existing gardens are narrow and the proposal would impact sunlight and the open aspects of the existing garden.
- Privacy implications for number 43, 45, 47 and 49 Gordon Hill.
- The proposal would tower over Youngmans Close.
- Overcrowded plot due to squeezed nature.
- Impactions regarding traffic.
- Implication of the access.
- Disturbance to number 41A and 45 Gordon Hill.
- Eroding gardens.
- Access too narrow.
- Ecology implications.
- Increase in pollution
- Lack of information.
- Implication of access for emergency vehicles.
- Parking problems.
- Height of proposal is too high.
- Over development.
- The plans are incorrect with regards to adjoining properties.
- The proposal should be refused as per TP/10/0519.
- Intensification of use of the site.
- Back land development is not acceptable.
- No refuse area.

4.2.2 In addition an objection has been received from the Gordon Hill Residents' Association on grounds that the proposal would result in over development of the site. This would cause detriment to the road as a whole and individual occupants. The proposal would cause a loss of privacy, overlooking and implications to light. Further, there would be noise implications and traffic implications. Furthermore, the access to the dwelling house is too narrow and would cause harm to highway and pedestrian safety.

4.2.3 The Association have also referenced application TP/01/1943, which was for the demolition of 6 garages and erection of 2 chalet bungalows to the rear of 39 to 45 Gordon Hill. This application was refused and dismissed at appeal in October 2002. The Association have referenced the Officers and Inspectors view regarding the access.

4.2.4 However, Members should note that since this decision planning permission has been granted for the erection of a dwelling house, namely No. 43 Gordon Hill, where the access was found to be acceptable and has been in use since the erection of the

dwelling house. The approval references for number 43 Gordon Hill and its access is TP/03/1618 in 2003 and TP/04/1762 in 2004.

4.2.5 All three ward Councillors (Laban, Rye and Steven) have also raised an objection to the proposed scheme. Objections are raised with regards to the following:

- Back land development.
- Overlooking from the balcony.
- Implications of the access.
- Noise and disturbance.
- Out of keeping.
- Loss of amenity
- Creating a precedent in the area.

5.0 Relevant Policy

5.1 The London Plan (FALP)

- 3.1 Ensuring equal life chances for all
- 3.3 Increasing housing supply
- 3.4 Optimising housing potential
- 3.5 Quality and design of housing developments
- 3.6 Children's and young people's play and informal recreation facilities
- 3.8 Housing choice
- 3.9 Mixed and balanced communities
- 3.10 Definition of affordable housing
- 3.11 Affordable housing targets
- 3.12 Negotiating affordable housing on individual private residential and mixed use schemes
- 3.13 Affordable housing thresholds
- 3.14 Existing housing
- 5.1 Climate change mitigation
- 5.2 Minimising carbon dioxide emissions
- 5.3 Sustainable design and construction
- 6.9 Cycling
- 6.11 Smoothing traffic flow and tackling congestion
- 6.13 Parking
- 7.4 Local character
- 7.6 Architecture
- 7.19 Biodiversity & access to nature

5.2 Core Strategy

- CP2: Housing supply and locations for new homes
- CP3: Affordable housing
- CP4: Housing quality
- CP5: Housing types
- CP20 Sustainable energy use and energy infrastructure
- CP21: Delivering sustainable water supply, drainage and sewerage infrastructure
- CP24: The road network
- CP30: Maintaining and enhancing the built environment
- CP36: Biodiversity
- CP46: Infrastructure contributions

5.3 Development Management Document

DMD2	Affordable Housing for Developments of less than 10 units
DMD3	Providing a Mix of Different Sized Homes
DMD6	Residential Character
DMD7	Development of Garden Land
DMD8	General Standards for New Residential Development
DMD9	Amenity Space
DMD10	Distancing
DMD37	Achieving High Quality and Design-Led Development
DMD38	Design Process
DMD45	Parking Standards and Layout

5.4 Other Relevant Policy

NPPF
Section 106 Supplementary Planning Document
NPPG
Housing SPG

6.0 **Analysis**

6.1 Principle

6.1.1 The site is situated to the side of 43 Gordon Hill and previously formed part of the garden of number 45 Gordon Hill, together with land that was previously occupied as a garage court and served via the access to Gordon Hill. Policy DMD7 seeks to protect and enhance the positive contribution gardens make to the character of the Borough. The policy advises that development on garden land will only be permitted if all of the following criteria are met:

- a. The development does not harm the character of the area;
- b. Increased density is appropriate taking into account the site context in terms of its location, accessibility and the provision of local infrastructure;
- c. The original plot is of a sufficient size to allow for additional dwellings which meets the standards in DMD 8 'General Standards for New Residential Development' (and other design policies);
- d. The individual plot sizes, orientation and layout created are appropriate to, and would not adversely impact on the residential amenity within the development, or the existing pattern of development in that locality;
- e. An adequate amount of garden space is retained within both of the individual plots in accordance with the minimum amenity space standards (DMD9'Amenity Space'), and the role of each space is enhanced to contribute towards other plan objectives such as biodiversity, green corridors and networks; flood risk; climate change; local context and character; and play space;
- f. The proposals would provide appropriate access to the public highway.

6.1.2 It is considered for that reasons set out below that the proposal would comply with this policy, insofar that the proposal fits within an existing pattern of development established by number 43 Gordon Hill, amenity, distancing and parking requirements are met and the development represents a sustainable use of the land. Further, the proposal would be compatible with Policies 3.3 and 7.5 of the London Plan and Core Policy 2 of the Local Development Framework insofar as it provides an addition to the Borough's housing stock which actively contributes towards both Borough specific and London-wide strategic housing targets. Accordingly, the principle of the erection

of a detached dwelling on this site is considered acceptable. However, this position must be qualified in relation to other material considerations including: achieving an appropriate residential mix in keeping with the character of the area; adequate internal floor space and layout; servicing; parking provision and residential amenity.

6.2 Impact on Character of Surrounding Area

- 6.2.1 The proposal would be a detached dwelling with a projecting bay window. It is different in design and appearance to the existing and adjoining chalet bungalow at No.43, but is of a scale and mass that is similar to it. Given that the dwelling would not form part of the established Gordon Hill street scene, being to the rear of the existing terraces, it is considered that the different design approach would not compromise or undermine the character of the surrounding area and it would not be readily visible from the public domain.
- 6.2.2 The dwelling house would have a higher ridge than number 43 Gordon Hill by 0.3m. The proposal has been designed with a pitched roof, rather than the Dutch gable roof at number 43. The increase height is marginal which would not be fully appreciated when viewed down the access road given the pitched roof design of the proposal. Further, the eaves of the proposal are in line with the proposed bottom section of the Dutch gable, thus in terms of proportionality the proposal respects number 43.
- 6.2.3 The proposal would have a ground floor bay window leading to a balcony on the first floor which a glazed balustrade. Such feature is acceptable in design/appearance terms. Details of finishing materials can be secured by way of a condition.
- 6.2.4 The proposal would result in a new dwelling house adjoining 43 Gordon Hill, with a separation distance of 1m to the shared boundary and a distance of 2.7m in total from the proposed flank elevation and the existing elevation of 43 Gordon Hill. These separation distances are deemed to be acceptable as the majority of separation distances along Gordon Hill are much narrower or not existing at all.
- 6.2.5 The proposed dwelling house is situated directly behind number 41 and 45 Gordon Hill but next to 43 Gordon Hill. The proposed dwelling house would be 1m away from the shared boundary with number 47 Gordon Hill. No objection is raised to this element of the scheme with regards to character of the area given that the dwelling house is situated to the rear of the site. Further, it should also be noted that number 43 already exists and the erection of a dwelling house next to number 43 would not erode the character of the area particularly as the existing access is also to be utilised by the proposed dwelling house.

6.3 Housing Mix and Floorspace

- 6.3.1 The most recent Borough housing needs assessment demonstrates that whilst there is a need for all sizes of unit, that need is greatest for larger dwellings, particularly three and four bed houses. Additionally, the National Planning Policy Framework focuses on the delivery of housing including the provision of larger family units. The proposal is for one three bedroom dwelling house for which there is a need within the Borough. Therefore, the proposal responds to the identified housing needs of the Borough and thus complies with Policy 5 of the Core Strategy, as well as DMD5 of the Development Management Document.
- 6.3.2 The London Plan contains minimum standards for the size of new residential accommodation. Below is a table showing the comparison of the proposed scheme and the minimum floor area required by the London Plan. It should be noted that the

dwelling house has a study which has a floor area of 8 sqm and thus can be used as a bedroom

House	Type	GIA (based on measurement of plans) (sq m)	GIA – London Plan 2011 (sq m)
1	3b5p	112.60 sqm	86 sqm

6.3.3 The proposed dwelling would exceed the minimum floor space standards and therefore is acceptable. The proposal would comply with policy 3.5 of the London Plan (FALP), CP4 of the Core Strategy, DMD8 of the Development Management Document, The Mayor of London Housing Supplementary Planning Guidance as well as the NPPF.

6.4 Amenity Space Provision

6.4.1 Amenity space provision is provided for the dwelling at 100 sq.m and this exceeds DMD requirements. A condition is recommended to require details of landscaping of the garden area to ensure an appropriate setting and enhance the biodiversity of the site.

6.3 Impact on Neighbouring Properties

43 Gordon Hill

6.3.1 The proposed dwelling house would project 3m past the rear elevation of 43 Gordon Hill. However, this does not cause concern given that there is no breach in the 30 degree and 45 degree line, in relation to existing windows in the rear elevation of this property. Thus the development would have no undue impact on light or outlook to the occupiers of this property.

6.3.2 A condition is recommended to remove the permitted development rights of the dwelling under Class A (ground and first floor extensions). This is because the proposal already projects 3m past number 43. Any further projections could cause harm, but through the removal of its permitted development rights a planning application would be submitted so that an assessment can be undertaken at that stage. A condition restricting development in the roof has not been imposed given the height of the roof and its shallow nature which would make it difficult to develop.

41, 41A, 45 and 47 Gordon Hill

6.3.3 DMD 10 requires a minimum of 22m separation distance between 1 - 2 and 2 storey properties and 25m between 2 and 3 storey properties. The separation distance between the proposal and number 41 and 41A Gordon Hill is 27m. Thus, having due regard to this, the policy requirement with regards to separation distances are exceeded.

6.3.4 The separation distance between the existing single storey rear extension at number 45 and the proposed two storey dwelling house is 21.5m. The distance between the two storey element of number 45 and the proposal is 26m. The distance between the rear dormer of number 45 and the proposal is 31m. Thus, the only area the proposal falls short of the policy requirements is 0.5m between the single storey rear

extension at number 45 and the front elevation of the proposal. It is considered that 0.5m is a marginal short fall which would not warrant refusal. Thus, on balance, no objection is raised to the scheme on this basis.

- 6.3.5 It is acknowledged that there is a balcony to the front of the proposed dwelling house that is 11m away from the rear boundary of number 45 Gordon Hill garden. It should be noted that the distancing standards accept 11m as the appropriate distance between development and a common boundary. Further, the balcony area is not deep enough to comfortably place tables and chairs in the area and thus could not be used as a useable amenity area. Having due regard to this, it is considered that the provision of a balcony would not give rise to undue overlooking or adjoining properties.
- 6.3.6 No windows are to be inserted on the flank elevation and thus there would be no views into the rear garden of number 47 Gordon Hill. Further, the development is not situated directly to the rear of number 47 Gordon Hill. Consequently, no objection is raised with regards to privacy, outlook, sunlight and daylight. A condition is to be added to ensure that no openings can be inserted into the flank elevation of the dwelling house in order to safeguard the amenities of 47 Gordon Hill.

61 Youngmans Close

- 6.3.7 DMD 10 requires a minimum distance between windows and side boundaries to be 11m. The dwelling house would face the flank elevation of number 61 Youngmans Close. This distance is 12m. Thus, with regards to outlook, sunlight, daylight and privacy, the proposal exceeds the minimum separation distance requirements and thus no objection is raised.

6.4 Highways and the street tree

6.4.1 *Parking*

The Council's DMD Policy 45 and the London Plan Policy 6.13 require a maximum of two car parking space to be provided for a three-bed dwelling. The proposed parking area to the front provides two spaces for the proposed dwelling house. The proposal provides sufficient parking for the proposed dwelling house and existing dwelling house.

6.4.2 *Access*

The proposal is to retain the existing pedestrian and vehicular access arrangement into the site via Gordon Hill. The layout alignment and the dimensions of the retained access way, at 2.7m wide, will adequately facilitate at least one-way vehicular movements into and from the site given the number of units proposed at the site. The access is also wide enough to facilitate an emergency vehicle. In addition the layout of the parking arrangement is satisfactory and there is adequate space for turning in order for vehicles to enter and leave the site in a forward gear, include emergency vehicles. Thus, having due regard to this, no objection is raised to the proposal.

6.4.3 *Traffic*

The previous application for two dwellings on the site was refused on grounds of the further intensification of use of the existing access road. This application is for one dwelling only. There would be some increase in traffic associated with the two additional parking spaces proposed to serve the dwelling. However, Traffic and Transportation are satisfied that that this increase is marginal and would not have a significant impact on the safe and free flow of pedestrian and vehicle movement with regards to the public highway.

6.4.5 *Conditions*

Details of refuse and cycling can be secured by way of condition given that the plot is substantially large enough to accommodate both requirements. Further, details of hard surfacing, enclosure and landscaping can also be secured by way of condition.

6.5 Biodiversity

6.5.1 A preliminary ecological appraisal has been submitted undertaken by a professional. The conclusion of this report is that there were no known ecological constraints regarding the site.

6.6 Section 106

6.6.1 On 28th November 2014 the Government introduced immediate changes to the National Planning Practice Guidance to state that contributions for affordable housing and tariff style planning obligations should not be sought for small scale and self-build developments containing 10 units or less with a gross area of no more than 1000sq.m. In the light of the implications for this for the Councils adopted DMD policy, a report was taken to the Local Plan Cabinet Sub Committee on 15th January 2015. At the meeting and in the light of guidance issued, Members agreed the approach set out below for dealing with planning applications and as the basis for future consultation on the revised S106 SPD.

6.6.2 Education contributions will no longer be required for developments of less than 11 units.

6.6.3 Affordable housing contributions may still be sought for developments of 1-9 units in accordance with the following:

- Individuals and self-builders will be exempt from requiring to pay affordable housing contributions;
- Contributions may continue to be required from other developers subject to viability testing, with a view to ensuring that contributions do not result in a disproportionate burden and an obstacle to the delivery of housing.

6.6.4 In this instance the applicant is considered to be an individual, as confirmed in writing by the Agent, and thus the scheme would not be required to provide a contribution towards affordable housing or education.

6.7 Sustainable Development

6.6.1 New housing developments should seek to exceed the Code for Sustainable Homes Level 4 and should be built to Lifetime Homes Standards. A Code for Sustainable Homes Pre – Assessment has been submitted which indicates Code Level 4 can be achieved. Thus, no objection is raised to this element of the scheme.

6.6.2 The Energy Assessment has been undertaken demonstrating that the development would be 25.6% improvement over Part L of the Building Regulations (2013). This exceeds the requirements of planning policy. Thus, having due regard to this, no objection is raised to this element of the scheme.

6.7 CIL

6.7.1 As of the April 2010, legislation in the form of CIL Regulations 2010 (as amended) came into force which would allow 'charging authorities' in England and Wales to apportion a levy on net additional floorspace for certain types of qualifying development to enable the funding of a wide range of infrastructure that is needed as a result of development. Since April 2012 the Mayor of London has been charging CIL in Enfield at the rate of £20 per sqm. The Council is progressing its own CIL but this is not expected to be introduced until spring / summer 2015. In this instance the proposed residential development would be subject to a £20 per square metre levy in accordance with the GLA's CIL Charging Schedule.

6.7.2 The applicant has indicated that the new development would create 112.60 square metres in gross internal floor area. On this basis, the calculation and sum arising would be as follows:

$$(\text{£}20/\text{m}^2) \times (112.60\text{m}^2) \times 252/223 = \text{£}2,544.86$$

6.7.3 Should permission be granted, a separate CIL liability notice would need to be issued.

7.0 **Conclusion**

7.1 The erection of a detached single family dwelling house adjacent to 43 Gordon Hill increases the Borough's housing stock and would not detract from the residential character and amenities of the surrounding area and in particular, the visual amenities or privacy of the occupants of Gordon Hill and Youngmans Close. Further, the proposal would not give rise to conditions prejudicial to the free flow and safety of traffic on the adjoining highway.

8.0 **Recommendation**

8.1 That planning permission be GRANTED subject to the following conditions:

1. C60 Approved Plans
2. C51A Time Limited Permission
3. C07 Details of materials
4. C09 Details of Hard Surfacing
5. C11 Details of Enclosure
6. C19 Details of Refuse Storage / Recycling Facilities
7. C17 Landscaping
8. C59 Cycle parking
9. Following practical completion of works a final Energy Performance Certificate with accompanying Building Regulations compliance report shall be submitted to an approved in writing by the Local Planning Authority and shall reflect the carbon reduction targets stated in the pre-assessment and energy report accompanying the scheme. Where applicable, a Display Energy Certificate shall be submitted within 18 months following first occupation.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO2 emission reduction targets are met in accordance with Policy CP20 of the Core Strategy, DMD51 of the Development Management Document, Policies 5.2, 5.3, 5.7 & 5.9 of the London

10. Evidence confirming that the development achieves a Code for Sustainable Homes (or relevant equivalent) rating of no less than 'Code Level 4' shall be submitted to and approved in writing by the Local planning Authority. The evidence required shall be provided in the following formats and at the following times:
 - a. a design stage assessment, conducted by an accredited Code Assessor and supported by relevant BRE interim certificate, shall be submitted at pre-construction stage prior to the commencement of superstructure works on site; and,
 - b. a post construction assessment, conducted by and accredited Code Assessor and supported by relevant BRE accreditation certificate, shall be submitted following the practical completion of the development and prior to the first occupation.

The development shall be carried out strictly in accordance with the details so approved, shall be maintained as such thereafter and no change there from shall take place without the prior approval of the Local Planning Authority.

Reason: In the interests of addressing climate change and to secure sustainable development in accordance with the strategic objectives of the Council and Policies 3.5, 5.2, 5.3, 5.7, 5.9, 5.12, 5.13, 5.15, 5.16, 5.18, 5.20 & 6.9 of the London Plan 2011 as well as the NPPF.

11. The development shall be implemented to accord with Lifetime Homes standards. Prior to occupation of the development evidence confirming compliance shall be submitted to and approved in writing by the Local Planning Authority. The development shall be maintained as such thereafter.

Reason: To ensure that the development allows for the future adaptability of the home to meet with the needs of future residents over their lifetime in accordance with Policy CP4 of the Core Strategy and Policy 3.5 of the London Plan 2011.

12. The development shall not commence until details of surface drainage works have been submitted and approved in writing by the Local Planning Authority. The details shall be based on an assessment of the potential for disposing of surface water by means of a sustainable drainage system in accordance with the principles as set out in the Technical Guidance to the National Planning Policy Framework. The drainage system shall be installed/operational prior to the first occupation and a continuing management and maintenance plan put in place to ensure its continued function over the lifetime of the development.

The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter.

Reason: To ensure the sustainable management of water, minimise flood risk and to minimise discharge of surface water outside of the curtilage of the

property in accordance with Policy CP28 of the Core Strategy, Policies 5.12 & 5.13 of the London Plan and the NPPF.

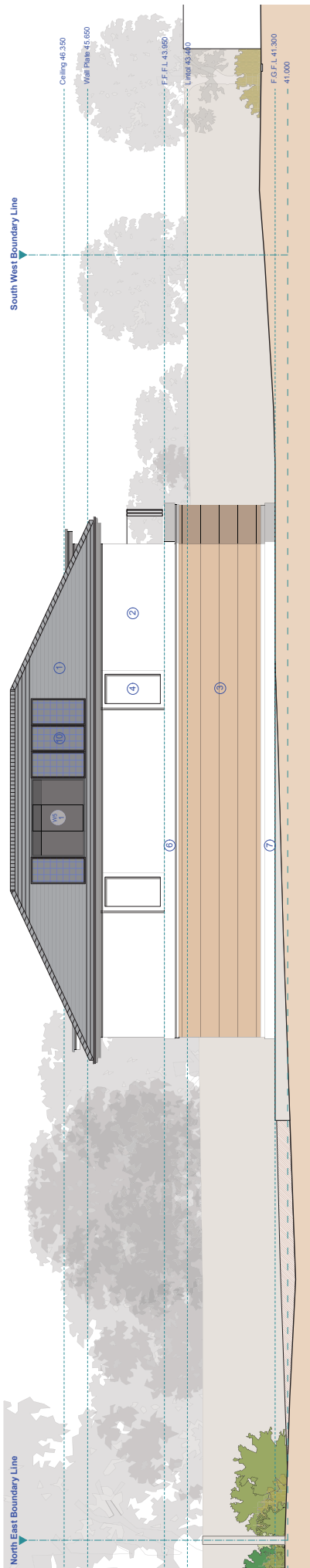
- 13 Notwithstanding the provisions of Class A of the Town and Country Planning (General Permitted Development) Order 2015 or any amending Order, no buildings or extensions to buildings shall be erected without the prior approval in writing of the Local Planning Authority.

Reason: In order to safeguard the amenities of neighbouring properties and the availability of adequate amenity space commensurate with its occupation as a single family dwelling house

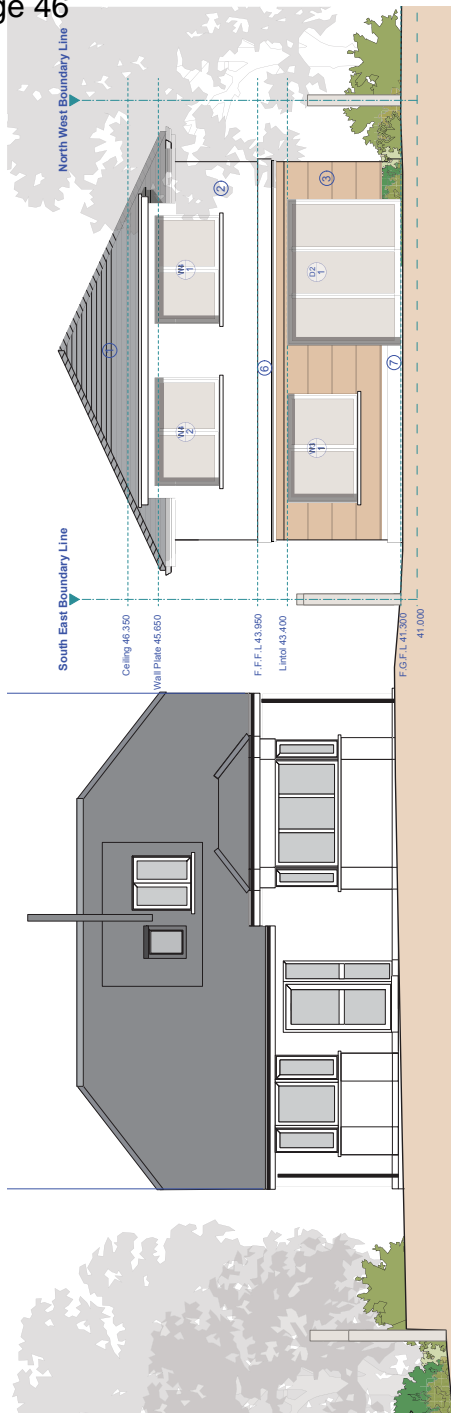
- 14 C25 No additional fenestration

KEY

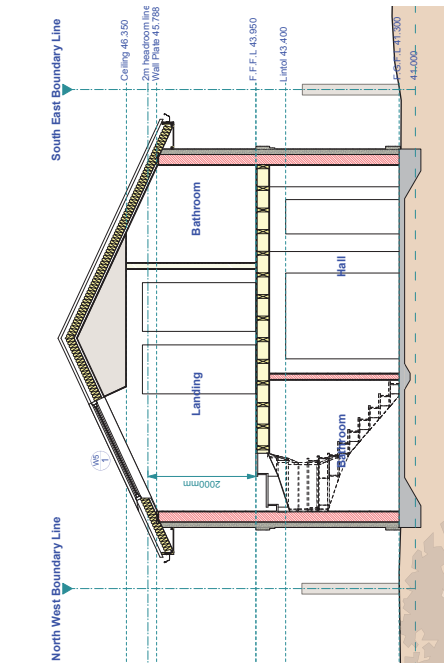
- 1. Slate Roof
- 2. Render - Colour A
- 3. Render - Colour B
- 4. Window - Colour B
- 5. Plaster Band Mock Window Border - Small
- 6. Plaster Band Mock Window Border - Large
- 7. Plaster Band Plinth at F.F.L. 350(h)x30(l)mm
- 8. Glass Balustrade
- 9. 40x400mm Column
- 10. PV Panels



NORTH-WEST ELEVATION
1:50



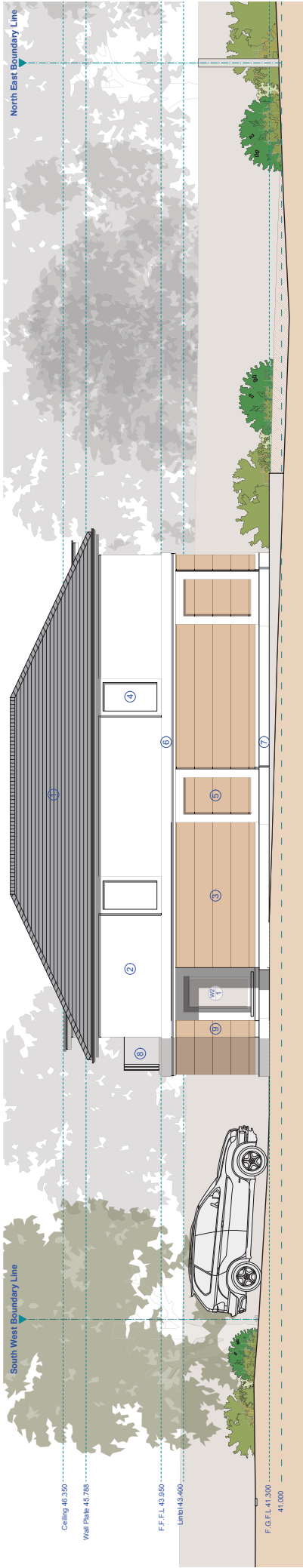
NORTH-EAST ELEVATION
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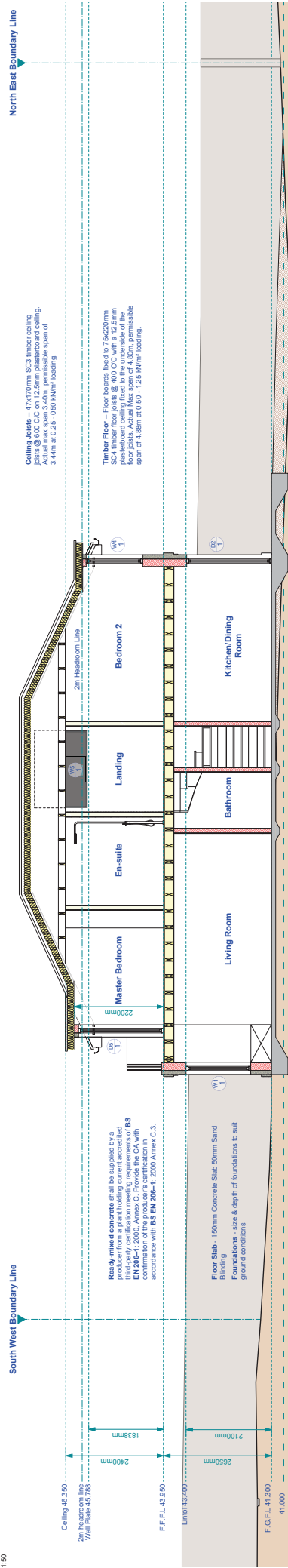
SECTION B-B
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PROJECT	41-45 Gordon Hill	
REVISION	1028 PL 06	~
DATE	06.14	
STATUS	Planning Application	
CLIENT	Mir A Halli	
DRAWING TITLE	Proposed Sections & Elevations	
SCALE	1:50	
DRAWN	A.K.	
CHECKED		

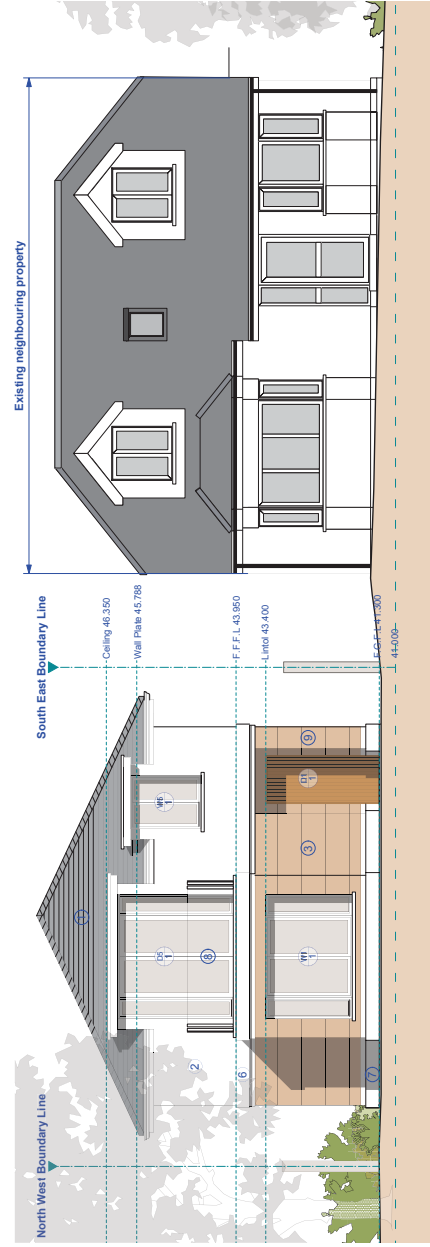
REV	DRN	CHK	MED/MENTS
-	-	-	Planning Issue
<p>This drawing is copyright. Do not scale from this drawing. All dimensions are given in millimetres unless otherwise stated. This drawing shall be read in conjunction with all relevant architectural and engineers' drawings and specifications.</p>			
<p>Revision: 1028.00 Planning Application 2. wx</p>			



SOUTH WEST ELEVATION
1:50



SECTION A-A
1:50




SOUTH EAST ELEVATION
1:50

KEY

1. Slate Roof
2. Render - Colour A
3. Render - Colour B
4. Plaster Band Mock Window Border - Small
5. Plaster Band Mock Window Border - Large
6. Plaster Band Mock Window Border - Large
7. Plaster Band Plinth at F.G.F.L. 350(0)x30(0)mm
8. Glass Balustrade
9. 400x400mm Column
10. PV Panels

REV	DRN	CHK	METHODS	DATE	DATE	REVISION	PROJECT
-	AK	-	Planning Issue	06.14		1028 PL 05	41-45 Gordon Hill
				Print to scale at A1			
				STATUS		Planning Application	
				SCALE	DRAWN	CHECKED	CLIENT
				1:50	AK		Mir A Halli
				DRAWING TITLE		Proposed Sections & Elevations	

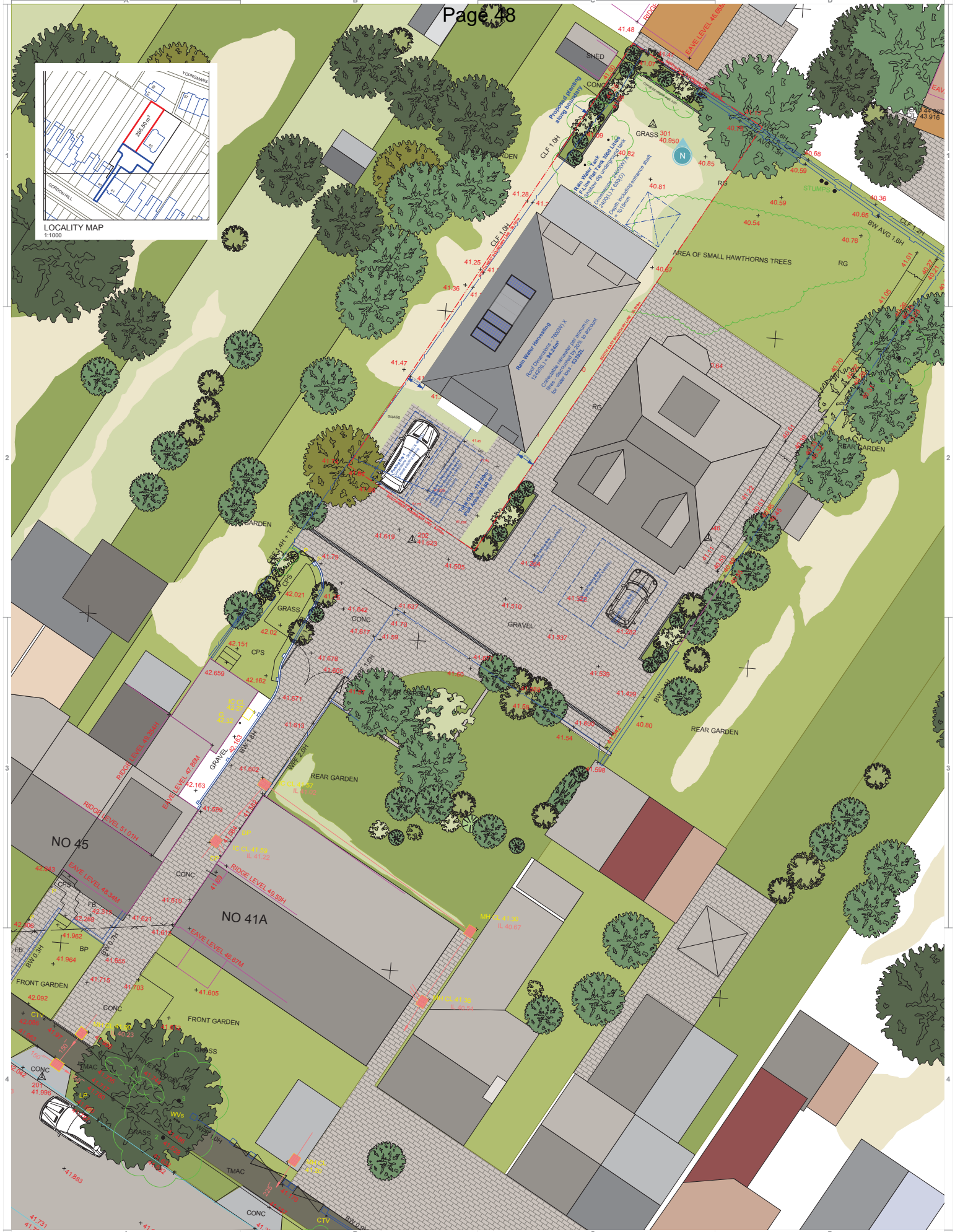


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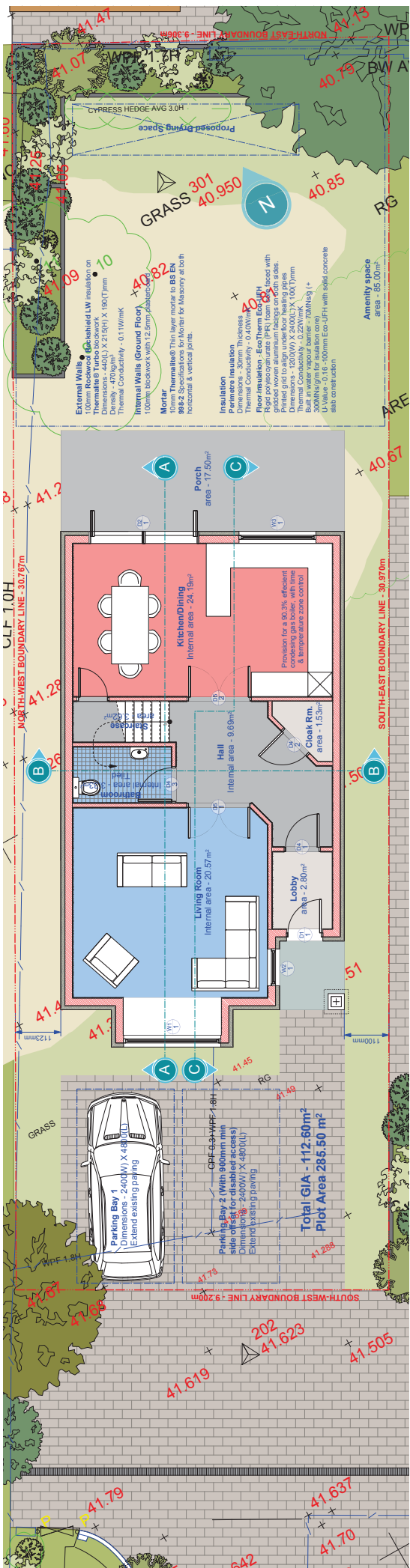


LOCALITY MAP
1:1000

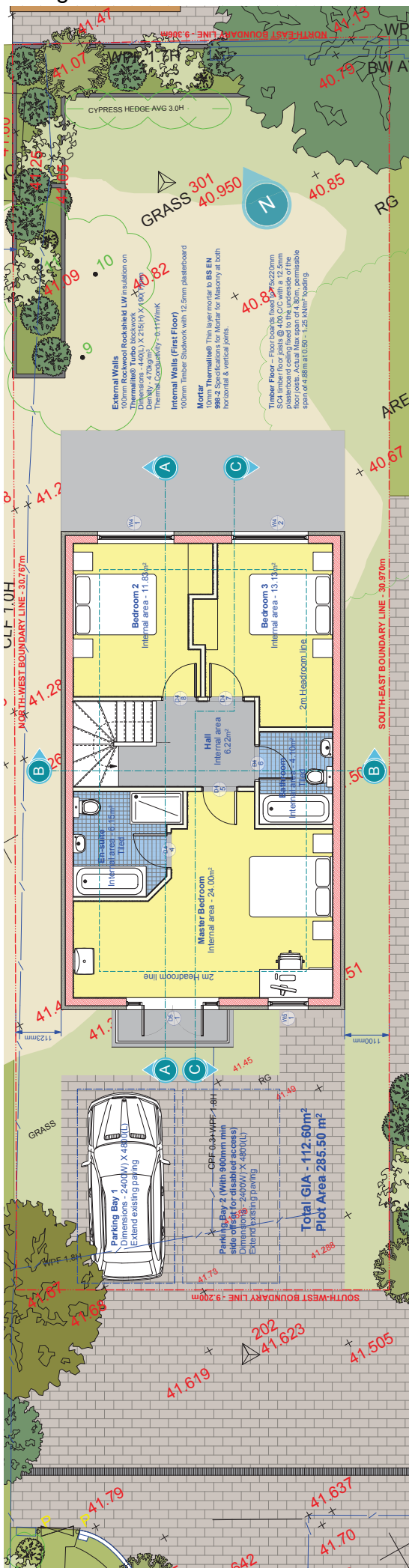


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							Print to scale at A1		CLIENT Mr A Halli
							STATUS Planning Application		DRAWING TITLE Site Plan
							SCALE 1:100	DRAWN A.K.	CHECKED H.C.





GROUND FLOOR PLAN 1:50



FIRST FLOOR PLAN 1:50

<p>architecture Barnes Collicie Fischer</p> <p>13 Royal Square, St. Helier, JE2 4WA T: 01534 73310 E: mail@bcf.com www.a-bcf.com</p>		<p>PROJECT 41-45 Gordon Hill</p>
<p>DATE 06.14</p>	<p>DRAWING No. 1028 PL 04</p>	<p>REVISION ~</p>
<p>REV -</p>	<p>DRN AK</p>	<p>CHK -</p>
<p>METHODS -</p>	<p>Planning Issue</p>	<p>CLIENT Mir A Halli</p>
<p>STATUS -</p>	<p>Pre to scale at A1</p>	<p>DRAWING TITLE Proposed Floor Plans</p>
<p>SCALE 1:50</p>	<p>DRAWN A.K.</p>	<p>CHECKED ~</p>

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Revision: 1028.00 Planning Application 2, wx







LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 28th April 2015

Report of
Assistant Director,
Planning, Highways &
Transportation

Contact Officer:
Andy Higham 020 8379 3848
Sharon Davidson 020 8379 3841
Mr Richard Laws 020 8379 3605

Ward:
Southgate

Ref: 14/04772/HOU

Category: Householder

LOCATION: 68 Meadway, London, N14 6NH,

PROPOSAL: Minor material amendment TP/11/1824 (part single, part 2-storeys side and rear extension involving demolition of existing garage) to allow relocation and increase in height of rear roof lanterns, new ground floor single door to rear, new timber windows to front elevation, amendment to design of kitchen and dining area doors and windows, aluminium windows to side and rear in new extension and minor other changes.

Applicant Name & Address:

Mrs Helen Poli
68 Meadway
London
N14 6NH
United Kingdom

Agent Name & Address:

Mr George Athanasi
Southgate Office Village
Block E First Floor
286A Chase Road
London
N14 6HF
United Kingdom

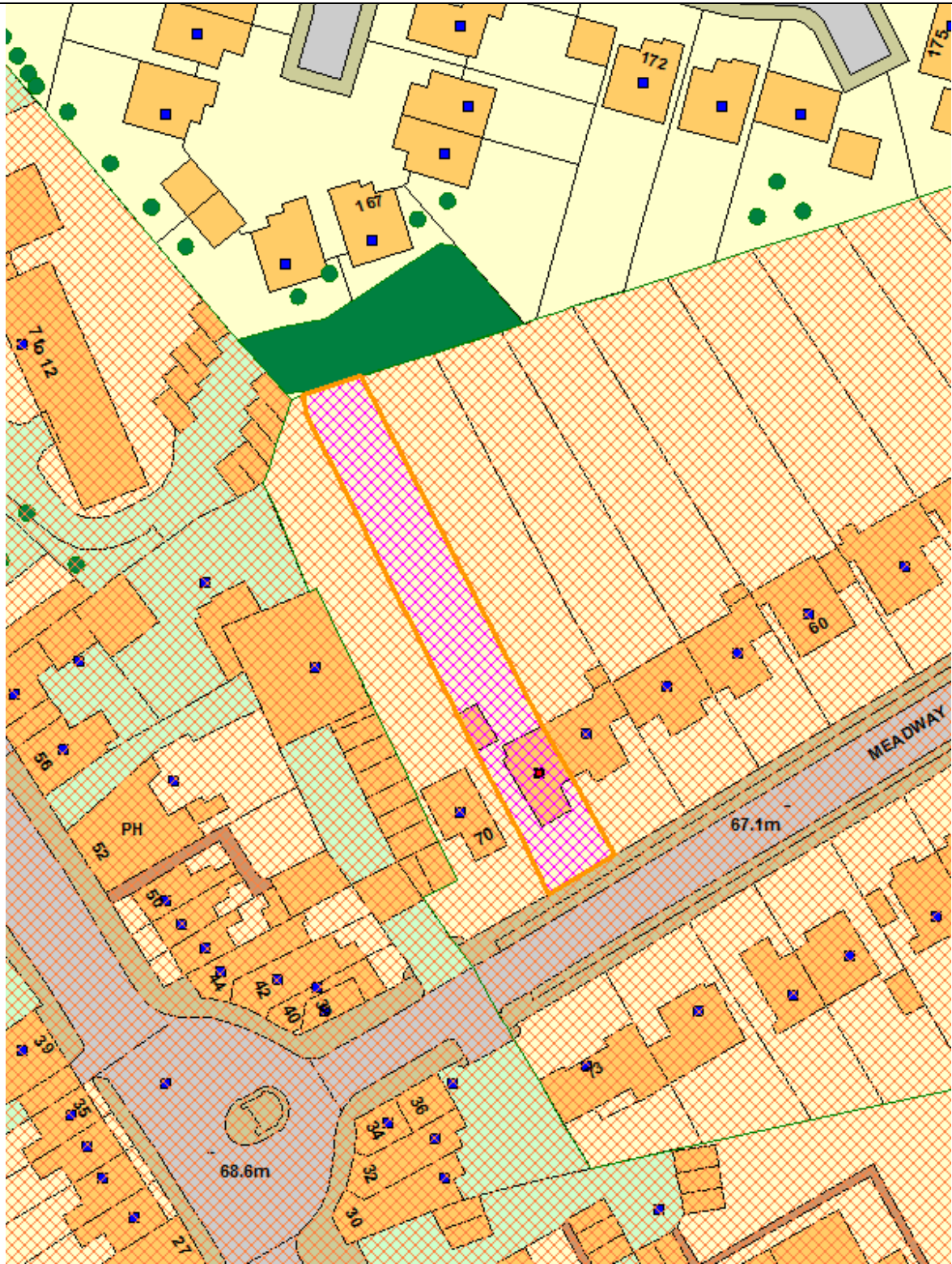
RECOMMENDATION:

That planning permission be **GRANTED** subject to conditions.

Note for Members:

The application would normally be dealt with under delegated powers, however the last application approved went to Planning Committee as the applicant is council employee and for consistency this application is also reported.

Ref: 14/04772/HOU LOCATION: 68 Meadway, London, N14 6NH,



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Scale 1:1250

North



1. Site and Surroundings

- 1.1 The property is a two storey semi detached dwelling situated in close proximity to the junction of Meadway/ High Street (Southgate). The property is externally finished in a white pebble dash render with a brick base course up to the lower ground floor windows. A detached garage structure is located just to the rear of the property, positioned on the side adjoining No.70 Meadway. The property also benefits from a large rear garden.
- 1.2 The surrounding area is residential in character and falls within Meadway Conservation Area.

2. Proposal

- 2.1 Planning permission for a part single, part two storey side and rear extension to the property was previously approved under Planning Ref: TP/11/1824. This permission still remains valid until 5th July 2015. This proposal involves some minor material amendments to the scheme previously approved.
- 2.2 The proposed first floor rear element extends 2.1m beyond the rear building line of the property and is inset 3.4m away from the side boundary with No. 66 The Meadway. The proposed first floor rear element extends 1.6m beyond the rear building line of number 70 Meadway.
- 2.3 With regards the single storey side and rear elements of the extension, the single storey rear extension is 3m in depth on the side adjoining No. 66 for a width of 3.4m and then extends out to a depth of 5m for a width of 4.8m. The single storey rear element is 3.2m high. The single storey rear element beyond No. 70 (4.8m in depth) is inset 1m away from the boundary, with the rest of the side extension element before this abutting the boundary. The first floor side element adjoining Number 70 the Meadway is inset on average 1m from the boundary and extends for a length of approximately 13.2m.
- 2.4 The key minor material amendments to the scheme involve the increase in the size, width and height of the rear roof lanterns on the approved single storey extension, a new rear door, aluminium windows to the rear and side flank elevation, new timber framed windows on the front elevation, alteration to size and design of side flank windows, façade boundary wall amended in width, façade garage roof pitch amended are the main changes. There are a few other minor changes which are of no material significance.

3. Relevant Planning Decisions

- 3.1 TP11/1824 Part single, part two storey side extension with integral garage and part single part two rear extension involving demolition of existing garage- Approved 5/6/12.
- 3.2 TP/14/04537/CND- Details pursuant to condition (6) roof lights and condition (7) chimneys of TP/11/1824. Approved

4. Consultation

4.1 Statutory and Non Statutory consultees

- 4.1.1 Conservation Officer

No objections in principle to the proposed minor material amendments. Ideally would wish to see timber framed windows to match to the flank elevations, in addition to the main façade. However, on balance accept the proposal for aluminium frames. The slim line roof lanterns to the rear extension and new roof light to the rear roof slope are sited to the rear of the building will not impact on the surrounding Conservation Area. Recommend that that bricks, brick bond and mortar to the chimney are conditioned to match existing.

4.1.2 Conservation Advisory Group

The Group was asked to consider the proposed minor material amendments to a previously approved scheme TP/11/1824. On balance, it was not felt the amendments, including alterations of the approved windows and from timber to aluminium on the flank and rear elevations, would not unduly impact on the character and appearance of the Meadway Conservation Area. They supported the use of timber framed double glazed windows on the front elevation. It was also suggested that the works to the existing chimney stacks should be conditioned to match existing in terms of brick type brick bond and mortar. No objection

4.2 **Public**

4.2.1 Consultation letters were sent to 5 neighbouring properties. In addition a site notice was displayed at the site and the application was also advertised in the local press. Two letters were received raising the following points;

- Extension too close to boundary
- Object to extension coming up to boundary
- Asbestos on garage must be properly removed
- Windows on side flank must be obscured glazed
- Slim line roof lanterns would be unsightly
- Change of materials for the windows, and patio doors from timber to aluminium out of keeping

5. **Relevant Policy**

5.1 London Plan (FALP March 2015)

Policy 7.4 Local character
Policy 7.6 Architecture
Policy 7.8 Heritage assets & archaeology

5.2 Core Strategy

CP30- Maintaining & Improving Quality of built environment
CP31- Built and Landscape Heritage

5.3 Development Management Document

DMD11- Rear extensions
DMD14- Side extensions
DMD37- Achieving high quality & design led development

DMD44- Preserving and enhancing heritage assets

5.4 Other Relevant Policy

National Planning Policy Framework (NPPF)
National Planning Practice Guidance (NPPG)
Medway Conservation Area Character Appraisal

6. Analysis

6.1 Principle

6.1.1 The principle of the extensions has already been approved under planning reference TP/11/1824 and this permission still currently remains valid. The main issues of consideration are therefore whether the minor material amendments to the scheme would have any greater impact on the character and appearance of the Conservation Area or adversely impact on the residential amenities of the two adjoining neighbours.

6.2 Impact on the Character and Appearance of the Conservation Area

6.2.1 The property lies within Meadway Conservation Area, within the associated Character Appraisal the property is identified as a building which contributes to the special interest of the area. The main issue of consideration is therefore whether the proposed minor material changes would still preserve and enhance the character and appearance of the property and conservation area

6.2.2 The principal of the impact of the part single/ part two storey side and rear extension on the character and appearance of the Conservation Area in terms of still preserving and enhancing its appearance has previously accepted through the granting of the existing permission. Furthermore, whilst the gap would be in filled at the side adjoining No. 70 The Meadway, the first floor element would still be inset 1m from the common boundary in accordance with Policy DMD 14 of the Development Management Document to avoid a terracing effect. It is therefore considered that the general design and appearance of the extension would satisfactorily integrate into the street scene and would not impact on the character and appearance of the Conservation Area having regard to Policies (II) C30, CP 31 as well as having regard to the National Planning Policy Framework as well as DMD44 of the Development Management Document

6.2.3 With regards the two existing chimneys on the side elevation, these are now retained, extended and incorporated within the development to help retain the character of the property. The roof lights on the side flank elevation are to be heritage style roof lights. With regards to the increase in the size and height of the two rear roof lanterns on the proposed single storey rear extension, it is considered that these would not adversely impact on the character and appearance of the Conservation Area, being situated to the rear. There is no objection to the proposed new double glazed timber windows proposed on the front elevation. In terms of the side flank elevation and rear elevation of the extension, these are to be aluminium windows. Both the Conservation Advisory Group and the Conservation Officer on balance felt that the amendments, including alterations of the approved windows from timber to aluminium on the flank and rear elevations would not unduly impact on the character and appearance of the Meadway Conservation Area. The other

minor changes would have no greater significant impact than those previously approved.

6.3 Impact on Neighbouring properties

- 6.3.1 With regards to the impact of the ground floor rear element of the extension on No 66 Meadway, this is 3m in depth on the boundary for a width of 3.4m before extending out in depth to 5m. The height of the extension is 3.2m. No. 66 Meadway has no extension immediately adjoining the boundary and therefore the main consideration is the impact of the extension on the residential amenities of this property having regard to Development Management Document Policy DMD 11. The depth of the extension on the side adjoining number 66 The Meadway would comply with DMD11. The deeper element of the extension at 5m is set 3.4m away from the boundary and therefore would not have any effect on residential amenity.
- 6.3.2 In terms of the impact of the first floor rear extension on No 66 Meadway this element is 2.1m deep but is inset from the common boundary by 3.4m. Given the separation, a 30 degree line would not be breached from the nearest first floor window. Accordingly, it is considered that the depth and siting of the first floor element would not adversely impact on the residential amenities of this property having regard to Development Management Document Policy DMD11 and CP 30 of the Core Strategy.
- 6.3.3 With regards the impact of the proposed extensions on No 70. Meadway, this property has 3 windows at first floor level on its side flank elevation (hallway, bathroom, and bedroom) and two windows at ground floor (kitchen & toilet). It should be noted that the kitchen window is not the sole source of light for this room.
- 6.3.4 In terms of the two storey side/ rear element, the first element is inset 1m from the common boundary which in addition to complying with DMD14 also ensures adequate separation to the flank of this neighbouring property. Furthermore, a 30 degree line would not be breached by the first floor rear projecting element of the extension from the nearest first floor rear window having regard to DMD11. It is considered therefore that the first floor element would not adversely impact on the existing side flank windows of No 70.
- 6.3.5 With regards the impact of the proposed single storey side/ rear element of the extension on No 70, this element is partly sited on the common boundary but where it projects beyond the rear main wall of No.70, it is inset by 1 metres for its entire depth of 4.5 metres. To facilitate this element, an existing detached garage sited adjoining the boundary is to be removed to facilitate the extension. This existing garage is 3m in height to the pitch of the roof and 2.45m to its eaves and is 5m in depth and establishes a base line in terms of the effect on existing levels of residential amenity. In other words, the new ground floor rear element on this side replaces the existing garage and the main focus must focus on any additional effect arising from a greater height or depth of that now proposed,
- 6.3.6 The new extension element is slightly less in depth by approx 800mm and also set slightly further away from the boundary. However, the height of the single storey element is 3.2m and therefore 200mm higher than the maximum height of the existing garage at 3 metres. To offset this additional height, the extension has been inset the 1 metres from the boundary and on balance, it is

considered that the siting of the extension slightly further from the boundary allows for this additional increase in height. It is therefore considered that the siting, depth and height of the extension would not have a significantly greater impact on the residential amenities of this property given the existing garage which is to be removed.

- 6.3.7 That part of the side extension positioned on the boundary at 3.2 metres in height is considered to be acceptable and would not unduly impact on the light and outlook available to the existing ground floor windows.
- 6.3.8 In terms of the minor changes the proposed the increased height and size of the rear roof lanterns on the proposed single storey rear element are not considered to have any adverse impact on the adjoining neighbours. The new rear door is also not considered to have any impact on 70 The Meadway. No objections are raised in design terms to the new wood windows on the front or the proposed aluminium windows on the side and rear elevation. Whilst two of the side flank windows on the side flank elevation are increased in size, these serve non habitable rooms and are to be obscured glazed, the third window is a high level bedroom window so as to protect privacy as originally approved. There is no objection to the slight change in pitch of the garage roof.

6.4 Parking

- 6.4.1 The proposal still provides two parking spaces: one within the proposed new garage and one on the existing hard standing driveway in front of the garage. The proposed extensions therefore, would not give rise to an increase in on street parking having regard to Policy 6.13 of the London Plan which relates to parking provision.

7. **Conclusion**

- 7.1 The proposed minor material changes to the existing approved scheme are not considered to adversely impact on the character and appearance of the Conservation Area or adversely impact on the residential amenities of the two adjoining neighbours. In conclusion approval is accordingly recommended.

8. **Recommendation**

- 8.1 That planning permission be GRANTED subject to the following conditions:
1. C60 Approved Drawings
 2. C24 Obscured Glazing- Two side flank non habitable windows
 3. C25 No additional fenestration
 4. C26 Restriction on extension roofs
 5. The proposed roof lights on the side flank elevation shall be heritage conservation roof lights.
Reason: In order to ensure the design roof lights are sympathetic to the Conservation Area.
 6. The works to extend the existing chimney stacks shall match in terms of bricks, brick bonds and mortar.
Reason : In order to protect the character and appearance of the Conservation area.

7. The development shall commence on or before the 5th July 2015 .

Reason: To comply with the provision of Section 51 of the Planning And Compulsory Purchase Act 2004.

NOTE:

Windows:
All new windows to be double glazed in black and white to match existing, but not in material.

All new cills to match existing in material and design.

Rooflights:
R01-R02: New 2 no.s Slimline Roof Lanterns from Reflex Glass (tel. 01908980206) or similar, to be 2000mm long and 1200mm wide with slate grey durable polyester powder coated aluminium integrated upstand and external capping and with Reflex+ Self Cleaning clear glass double glazing achieving u-value (Uw) of 1.0 W/m²K.

R03-R06: New 4 no.s Conservation Roof Windows from The Rooflight Company or similar, ref CR-1/3, to be double glazed, top hinged, 1021mm wide and 525mm high, with external profiles and glazing bar in slate grey and to achieve u-value (Uw) of 1.4W/m²K.

R07: New 1 no. Conservation Roof Window from The Rooflight Company or similar to be double glazed, top hinged, 565mm wide and 1028mm high, with external profiles and glazing bar in slate grey and to achieve u-value (Uw) of 1.4W/m²K.



GLA Architecture and Design

Southgate Office Village, Block E, First Floor,
288A Chase Road, London, N14 6HF

T 020 8966 5100 F 020 8966 0669 E g@glad.co.uk

Revision- **A9:** 02.15.15: eg: Dimensions to ground floor rear extension amended. Floor to floor rear extension & ground floor rear extension amended.

Revision- **A8:** 17.02.15: eg: Revs A4-A7 omitted & chimney note added.

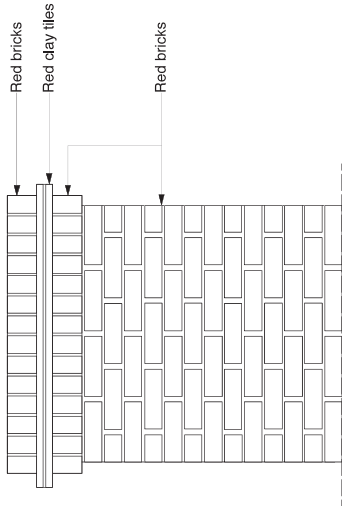
Revision- **A4:** 28.10.14: eg: Render & rooflights notes amended.

Revision- **A3:** 14.10.14: eg: Window & rooflight notes, boiler flue's location and rooflights R01 & R02 amended.

Revision- **A2:** 3.10.14: eg: Roof lights R01 & R02, existing window to front elevation, new windows to side elevation, rain water & soil vent pipes to side & rear elevations and ground floor side extensions pitched roof amended.

Revision- **A1:** 18.09.14: eg: Rear rain water pipes & gutters amended to UPVC.

Client		MR & MRS POLI
Main Contractor		
Project		
PART SINGLE PART TWO STOREY SIDE & REAR EXTENSION TO NO. 68 MEADWAY, LONDON N14 6NH		
Drawing Title		
PROPOSED SIDE ELEVATION AND CHIMNEY DETAIL		
Scale	Date	Drawn by
1:100 & 1:20 @ A3	August 2014	EG
Project No.	Drawing No.	Rev.
1417	16	A9
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NOTE:
Brick bonding, mortar and design to match existing.

Existing chimney to be extended - bricks & design to match existing. Existing flue to be removed by specialist if found to be asbestos.

New double glazed aluminium window in black & white to match existing

New obscure glass double glazed aluminium windows in black & white to match existing, fixed shut

Pebble dash rendered blockwork painted white to match existing

Existing garage to be demolished by specialist if found to be asbestos

New rain water pipe in black UPVC

Grille for extractor hood

New rain water pipe in black UPVC

Existing gate to be removed

Pebble dash rendered blockwork painted white to match existing

Boiler flue

Humidistat extractor fan grilles

New brickwork in yellow London Stocks to match existing

Existing chimney to be extended - bricks & design to match existing

New pitched roof in clay tiles to match existing

New pitched roof in clay tiles to match existing

New soil & vent pipe in black UPVC

Existing soil vent pipe to be removed

Humidistat extractor fan grilles

New pitched roof in clay tiles to match existing

New rain water pipe in black UPVC

New rain water pipe in black UPVC

New rain water pipe in black UPVC

New rain water pipe in black UPVC

New rain water pipe in black UPVC

New rain water pipe in black UPVC

New rain water pipe in black UPVC

New rain water pipe in black UPVC

New rain water pipe in black UPVC

New rain water pipe in black UPVC

PROPOSED SIDE ELEVATION





GLA Architecture and Design

Southgate Office Village, Block E, First Floor,
286A Chase Road, London, N14 6HF
T 020 8886 5100 F 020 8886 0669 E g@glad.co.uk

Revision - **A5**: 19.02.15: sk : Dimension from boundary line to new first floor extension added. Pitched roof to the first floor amended.

Revision - **A4**: 17.02.15: eg : Roof to the garage & facade above garage roof amended.

Revision - **A3**: 26.10.14: eg : Render & window W26 notes and windows W26 & W30 amended. Low level vent pipe added, window W26 amended. Boiler flue added.

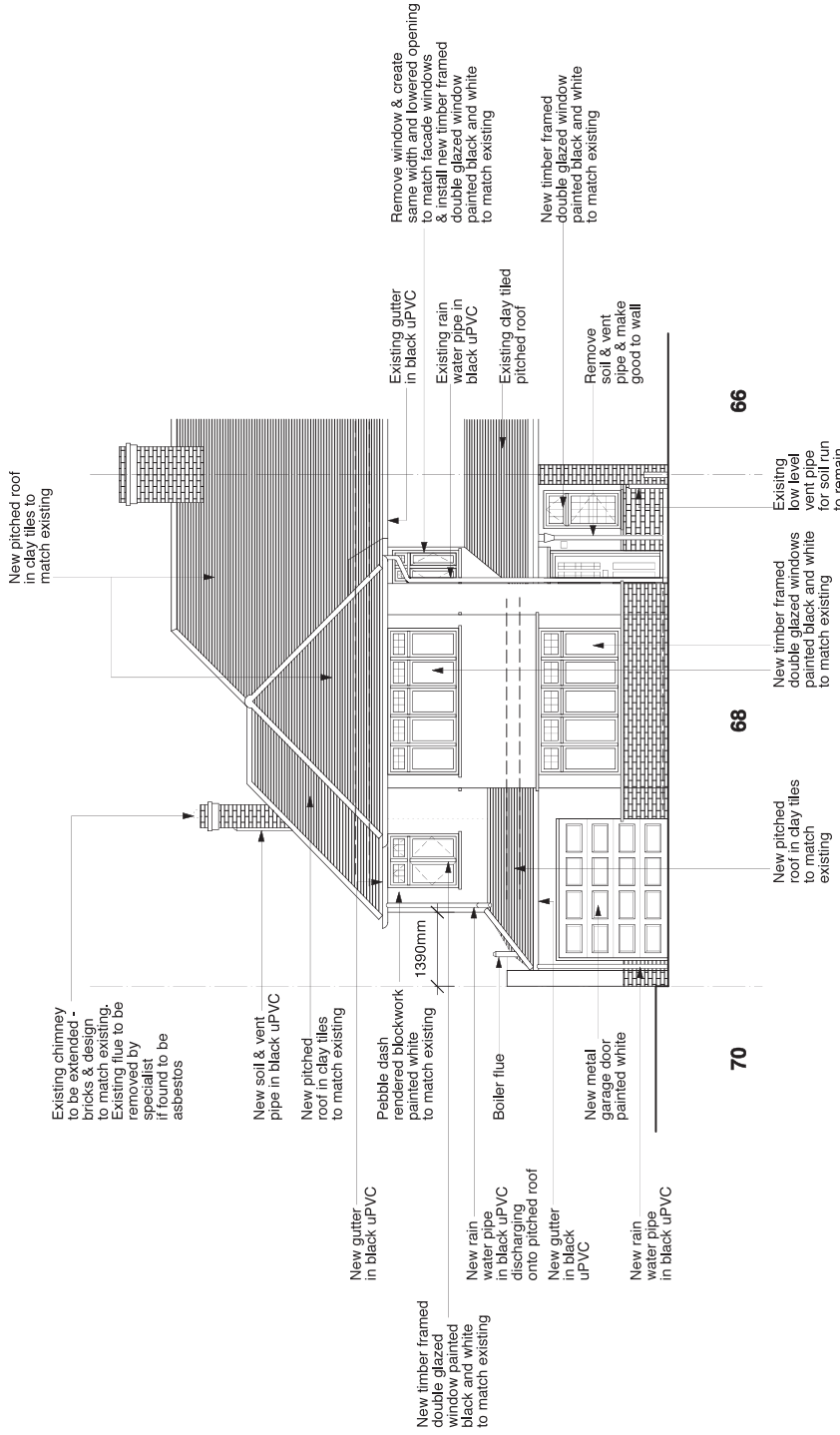
Revision - **A2**: 14.10.14: eg : Window & rooflight notes and window W26 amended. Boiler flue added.

Revision - **A1**: 3.10.14: eg : Retaining wall to side extension, rain water pipes and gutters, garage door and new & existing windows amended.

NOTE:

Windows:
All new windows to be double glazed in black and white to match existing, but not in material.

All new cills to match existing in material and design.



PROPOSED FRONT ELEVATION

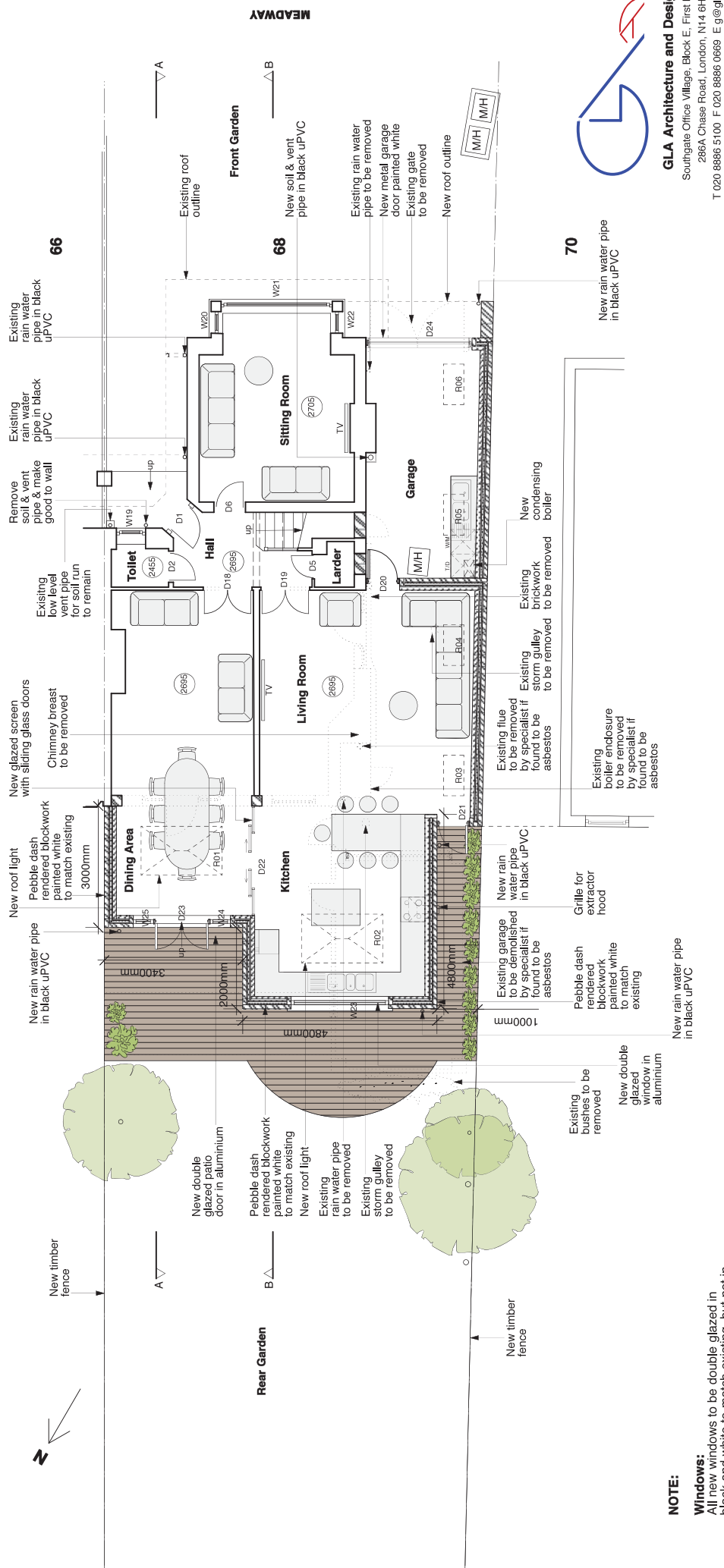


Client MR & MRS POLI	
Main Contractor	
Project PART SINGLE PART TWO STOREY SIDE & REAR EXTENSION TO NO. 68 MEADWAY, LONDON N14 6NH	
Drawing Title PROPOSED FRONT ELEVATION	
Scale 1:100 @ A3	Date August 2014
Project No. 1417	Drawing No. 14
	Rev. A5
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Client MR & MRS POLI	
Main Contractor	
Project PART SINGLE, PART TWO STOREY SIDE & REAR EXTENSION TO NO. 68 MEADWAY, LONDON N14 6NH	Drawn By EG
Drawing Title PROPOSED GROUND FLOOR PLAN	Date August 2014
Scale 1:100 @ A3	Drawing No. 1417
Project No. 1417	Rev. A4
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KEY

D1	Door Number
W19	Window Number
R01	Roof Light Number
2695	Ceiling Height
M/H	Existing Manhole
[Pattern]	New cavity wall with pebble dash rendered blockwork exterior painted white to match existing, 80mm full fill cavity with Rockwool insulation, blockwork interior with 11mm British Gypsum Thistle HardWall & 3mm Thistle Multi finish plaster. Cavity reveals to Building Regulations 14, C2, L1A.
[Pattern]	One layer of 12.5mm BG plasterboard to each side. Boards to be taper edged, tape and jointed - all to achieve half hour fire resistance.
[Pattern]	Two layers of 12.5mm BG Gyproc Soundbloc each side with 50mm Snowool 1200 cavity insulation. Boards to be taper edged, tape and jointed - all to achieve half hour fire resistance. Refer to manufacturers recommendations.
[Pattern]	New brickwork filled into existing wall.

PROPOSED GROUND FLOOR PLAN



NOTE:

- Windows:** All new windows to be double glazed in black and white to match existing, but not in material.
- All new cills to match existing in material and design.
- Rooflights:**
R01-R02: New 2 no.s Slimline Roof Lanterns from Reflex Glass (tel. 01908980206) or similar, to be 2000mm long and 1200mm wide with slate grey durable polyester powder coated aluminium integrated upstand and external capping and with Reflex+ Self Cleaning clear glass double glazing achieving u-value (Uw) of 1.0 W/m²K.
- R03-R06:** New 4 no.s Conservation Roof Windows from The Rooflight Company or similar, ref. CR-1/3, to be double glazed, top hinged, 1021mm wide and 525mm high, with external profiles and glazing bar in slate grey and to achieve u-value (Uw) of 1.4W/m²K.
- R07:** New 1 no. Conservation Roof Window from The Rooflight Company or similar to be double glazed, top hinged, 565mm wide and 1028mm high, with external profiles and glazing bar in slate grey and to achieve u-value (Uw) of 1.4W/m²K.



GLA Architecture and Design

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Client MR & MRS POLI	
Main Contractor	
Project PART SINGLE PART TWO STOREY SIDE & REAR EXTENSION TO NO. 68 MEADWAY, LONDON N14 6NH	
Drawing Title EXISTING SITE PLAN	
Scale 1:100 @ A3	Date August 2014
Project No. 1417	Drawing No. 01
Rev. A-	Drawn By EG
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EXISTING SITE PLAN
SCALE 1:500

LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 28th April 2015

Report of

Assistant Director, Planning,
Highways & Transportation

Contact Officer:

Andy Higham 020 8379 3848
Sharon Davidson 020 8379 3841
Ms Eloise Kiernan 020 8379 3830

Ward:

Cockfosters

Ref: 15/00588/HOU

Category: Householder

LOCATION: 73 Avenue Road, London, N14 4DD,

PROPOSAL: Two storey side extension and part single, part single, part 2 storey rear extension involving rear conservatory.

Applicant Name & Address:

Mr Daniel Pearce
73 Avenue Road
Southgate
Enfield
N14 4DD
United Kingdom

Agent Name & Address:

Mr Ian Eggleton
40 Blake Road
London
London
N11 2AE

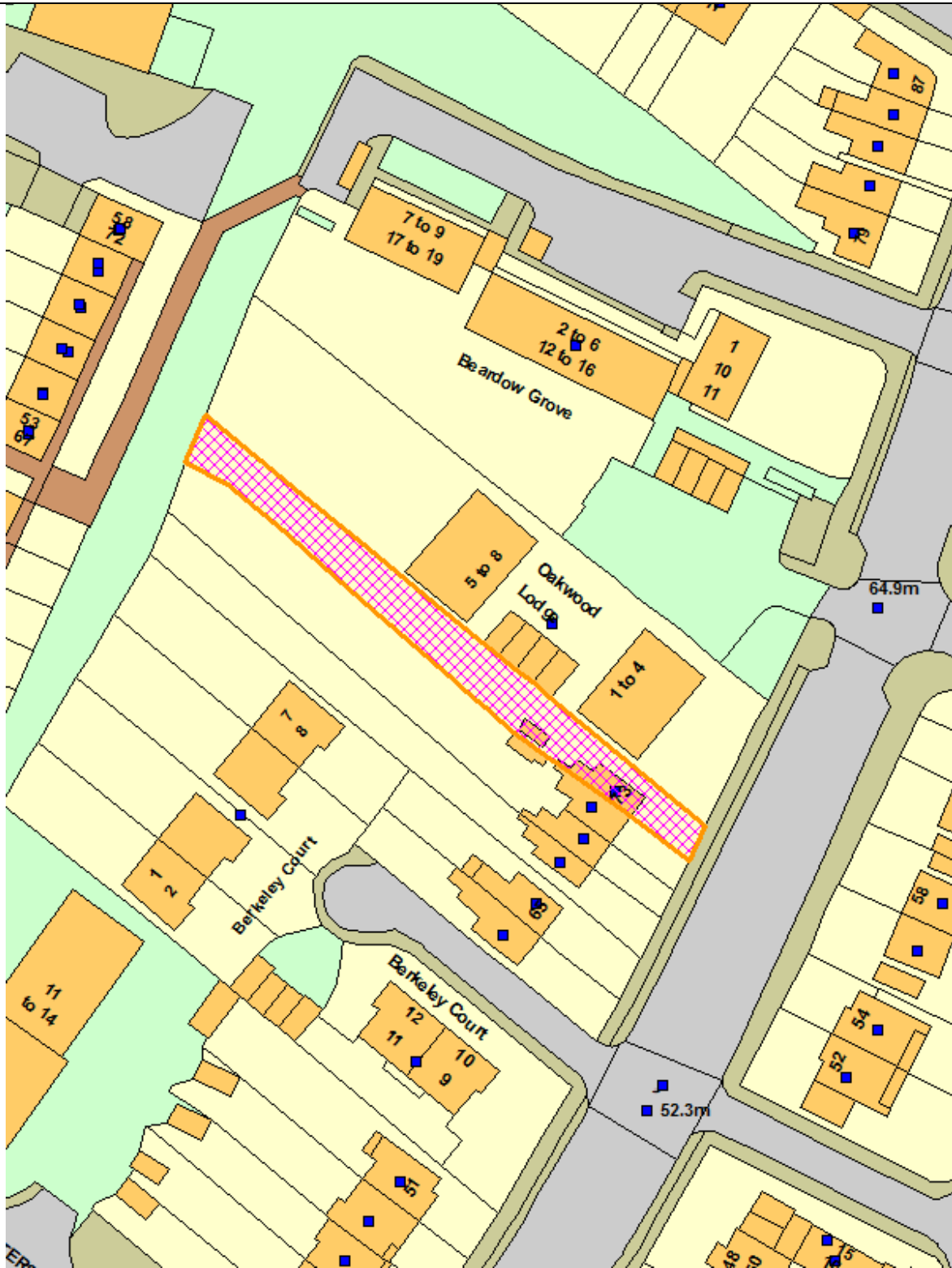
RECOMMENDATION:

It is therefore recommended that planning permission be **REFUSED** for reasons.

Note for Members:

Whilst this is an application that would normally be dealt with under delegated authority, the application is being reported to Planning Committee as the applicant is Cllr Daniel Pearce.

Ref: 15/00588/HOU LOCATION: 73 Avenue Road, London, N14 4DD,



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Scale 1:1250

North



1. Site and Surroundings

- 1.1 The application site is situated on the north western side of Avenue Road on a rectangular shaped plot. The property comprises the end terrace of a terrace of four properties, of traditional brick construction with a hipped roof.
- 1.2 The surrounding area is residential in character and contains a number of flatted developments and dwellings of a varying design, age and character.
- 1.3 The site is not listed and does not fall within a Conservation Area

2. Proposal

- 2.1 The proposal is for full planning permission for the construction of a two storey side extension and part single/part two storey rear extension involving a rear conservatory.
- 2.2 The two storey side/rear extension would have dimensions of 1.2m in width from the front elevation extending to a maximum of 4.5m towards the rear section by 8.2m in depth (approximately 3.8m beyond the existing rear wall), to serve an enlarged hallway and dining area at ground floor level and bedrooms and bathroom at first floor level. The extension would be finished with a flat roof and be clad in timber.
- 2.4 The single storey element of the rear extension would project an additional 1m beyond the existing extension across the width of the property and flush with the existing rear projection at the attached property, no 71.
- 2.5 This application differs from a previously refused scheme as follows:
 - The design and size of windows to serve the double storey side extension have been altered
 - The roof design to the double storey side extension has been altered from a shallow pitch to a flat roofline

3. Relevant Planning Decisions

- 3.1 14/03616/HOU – Two storey side extension and rear conservatory – refused for the following reason:

The proposed two-storey side extension, by virtue of its scale, proportions and appearance would result in an incongruous form of development detrimental to the existing character and appearance of the dwellinghouse and the visual amenities of the streetscene, contrary to Policies (II) GD3 and (II) H12 of the Unitary Development Plan, CP30 of the Core Strategy, 7.4 of the London Plan and DMD14 and DMD37 of the Submission Version Development Management Document.

4. Consultations

4.1 Statutory and non-statutory consultees

- 4.1.1 None

4.2 Public response

4.2.1 Letters were sent to 14 adjoining and nearby residents. In addition a notice has been displayed on site. One response has been received, which raises the following concerns:

- Loss of privacy
- Noise disturbance
- Out of keeping with character of area – materials do not relate to the row of terraces
- Not enough detail provided on application

5 Relevant Policy

5.1 London Plan

7.4 Local character

7.6 Architecture

5.2 Core Strategy

CP30 Maintaining and improving the quality of the built and open environment

5.3 Development Management Document

DMD6 Residential character

DMD11 Rear extensions

DMD13 Roof extensions

DMD14 Side extensions

DMD 37 Achieving High Quality and Design Led Development

5.4 Other relevant policy

National Planning Policy Framework

National Planning Practise Guidance

6. Analysis

6.1 Impact on Character of Surrounding Area

6.1.1 The proposed side extension would feature a flat roof, stepped back from the front elevation by approximately 5m (including bay window) and the flat roofline is level with the existing eaves height of the parent dwelling.

6.1.2 It is considered that the side extension, through its design, scale and proposed finishing materials would introduce an incongruous and disproportionate addition to the property and would have an awkward relationship with the parent dwelling. It is considered that the flat roof form would awkwardly relate to the original characteristics of the building and the wider terrace of which it forms a part. It is noted that other properties have extensions; however the proposed extension, as a consequence of its design and scale would detract from the overall character and appearance of the existing dwelling.

- 6.1.3 The proposed flat roof would be to the side of the building and thus would be visible within the Avenue Road street scene. The rear section of the extension would also be visible from Berkeley Court . The existing property forms part of a modest terrace of properties of traditional design, which whilst having been extended to the rear over the years, are still relatively small in scale in comparison to the original dwellings. The proposed extension would significantly increase the scale of extension to the property and the bulk of the flat roof two storey element to the rear. It is considered that this, taken with the design approach proposed, accentuates its impact on the existing dwelling and the wider area. It is therefore considered that the proposed extension would fail to relate appropriately to the character and appearance of the existing dwelling and visual amenities of the area, contrary to policies CP30 of the Core Strategy, 7.4 of the London Plan and Policies DMD11 and 14 of the Development Management Document.
- 6.1.4 Policy DMD14 also requires that there is a setback of 1m from the common boundary to maintain an adequate separation between dwellings within the street scene and avoid a terracing effect. The floor plans indicate that the two storey side extension would provide a separation of 1m from the common boundary and therefore the development would comply with this element of the policy.
- 6.2 Impact on Neighbouring Properties
- 6.2.1 The neighbouring properties most impacted on would be the adjoining terrace, no.71 and the adjacent flatted development at Oakwood Lodge.
- 6.2.2 Oakwood Lodge (1-4) projects substantially further to the rear of the existing dwelling and the proposed two storey element would be flush with this projection, thus a 30 degree line would be maintained from the nearest habitable window.
- 6.2.3 No 71 Avenue Road, immediately adjoins the site to the south. There is a window within the rear elevation of an existing flat roofed two storey rear projection at this property which serves a bathroom. A 30 degree line would be breached in relation to this window. However given that it serves a non-habitable room, on balance this relationship is considered acceptable. It is therefore considered that the extension would not be detrimental to neighbouring occupiers in regards to loss of sunlight/daylight or outlook, having regard to policy DMD11 of the DMD.
- 6.2.3 There are windows proposed at ground and first floor level in the flank elevation of the extension, facing Oakwood Lodge. At ground floor these serve a kitchen/dining area and would face the largely blank flank elevation of Oakwood Lodge. A condition could be imposed requiring the provision of a means of enclosure to a minimum height of 1.8m to the common boundary to ensure privacy is adequately maintained, were planning permission to be granted. The window at first floor level would serve a bathroom and therefore were permission to be granted a condition could be imposed requiring that this be obscure glazed.
- 6.2.4 The two storey extension would bring built development nearer to the flank elevation of Oakwood Lodge. However given the separation of approximately 2m, and as the windows in the flank elevation of this block serve non-

habitable rooms, it is not considered that this element of the proposal would give rise to unacceptable loss of sunlight/daylight or outlook.

- 6.2.5 DMD11 of the Development Management Documents seek to secure a common alignment of extensions. The ground floor rear extension would be in common alignment with an existing projection at no. 71 and therefore the proposed extension would have no undue impact on light or outlook to No.71's ground floor windows.
- 6.2.6 The single storey element would project approximately 1m beyond the existing rear wall of Oakwood Lodge. Given this minimal projection and the separation of 2 metres from the common boundary, a 45 degree line would be maintained from the nearest habitable window and therefore the extension would not be detrimental to neighbouring amenities in regards to loss of sunlight, daylight or outlook, having regard to policies CP30 of the Core Strategy and DMD11 of the DMD.

6.3 CIL

- 6.3.1 As of the April 2010, legislation in the form of CIL Regulations 2010 (as amended) came into force which would allow 'charging authorities' in England and Wales to apportion a levy on net additional floorspace for certain types of qualifying development to enable the funding of a wide range of infrastructure that is needed as a result of development. Since April 2012 the Mayor of London has been charging CIL in Enfield at the rate of £20 per sqm. The Council is progressing its own CIL but this is not expected to be introduced until spring / summer 2015.
- 6.3.2 The development is not liable for CIL.

7. Conclusion

- 7.1 The proposed two-storey side extension, by virtue of its design, scale, proportions and appearance would result in an incongruous form of development, detrimental to the existing character and appearance of the dwellinghouse and the visual amenities of the streetscene. The proposal is thereby contrary to Policies CP30 of the Core Strategy, 7.4 of the London Plan and DMD 11 and 14 of the Development Management Document.

8. Recommendation

- 8.1 It is therefore recommended that planning permission be refused for the following reason:

The proposed two-storey side extension, by virtue of its design, scale, proportions and appearance would result in an incongruous form of development detrimental to the existing character and appearance of the dwellinghouse and the visual amenities of the streetscene, contrary to Policies CP30 of the Core Strategy, 7.4 of the London Plan and Policies DMD11 and 14 of the Development Management Document.

DO NOT SCALE THIS DRAWING. USE REQUIRED DIMENSIONS ONLY.
 All dimensions to be checked on site prior to commencement of works.
 This drawing is to be read in conjunction with all relevant drawings, specifications and schedules.
 IF IN DOUBT, ASK.

MATERIALS:

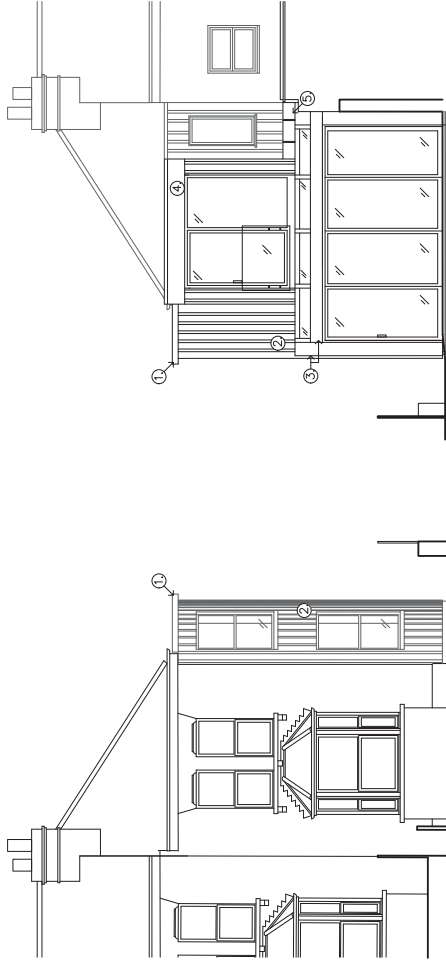
1. Square profiled zinc gutter to define roof edge
2. Vertical timber cladding, larch (see below)
3. Larch eapting
4. Slate-grey coloured render
5. Standing seam roofing

Windows to existing house to be replaced with timber-framed, white finish.
 All windows and external doors to extension timber-framed, natural finish,
 frame profiles to match existing house.



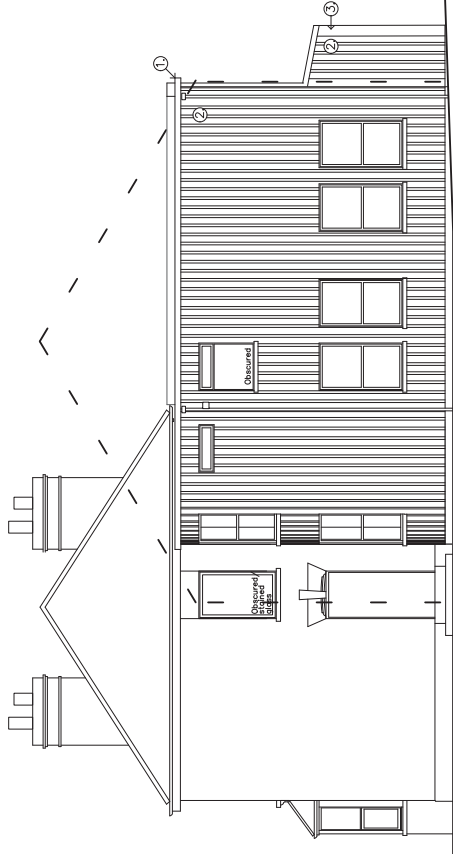
D 12.2.15 Amended following Planning meeting. Issued for Planning.
 C 12.5.14 Amendments as client's comments. Issued for Planning.
 B 4.8.14 Amended following LA pre-Planning comments.
 A 1.12.13 Amended following LA pre-Planning comments.
 - 16.5.14 First issue for comment.
 Rev. Date Description

Drawing Status	Planning
Project	Extension and Remodelling 73 Avenue Road
Location	London N14 4DD
Client	Daniel Pearce
Drawing Name	Proposed Elevations
Drawing Number	006-07
Scale	1:100@A3
Date	May 2014
revision	D



PROPOSED FRONT ELEVATION

PROPOSED REAR ELEVATION



outline of no.75 shown dashed

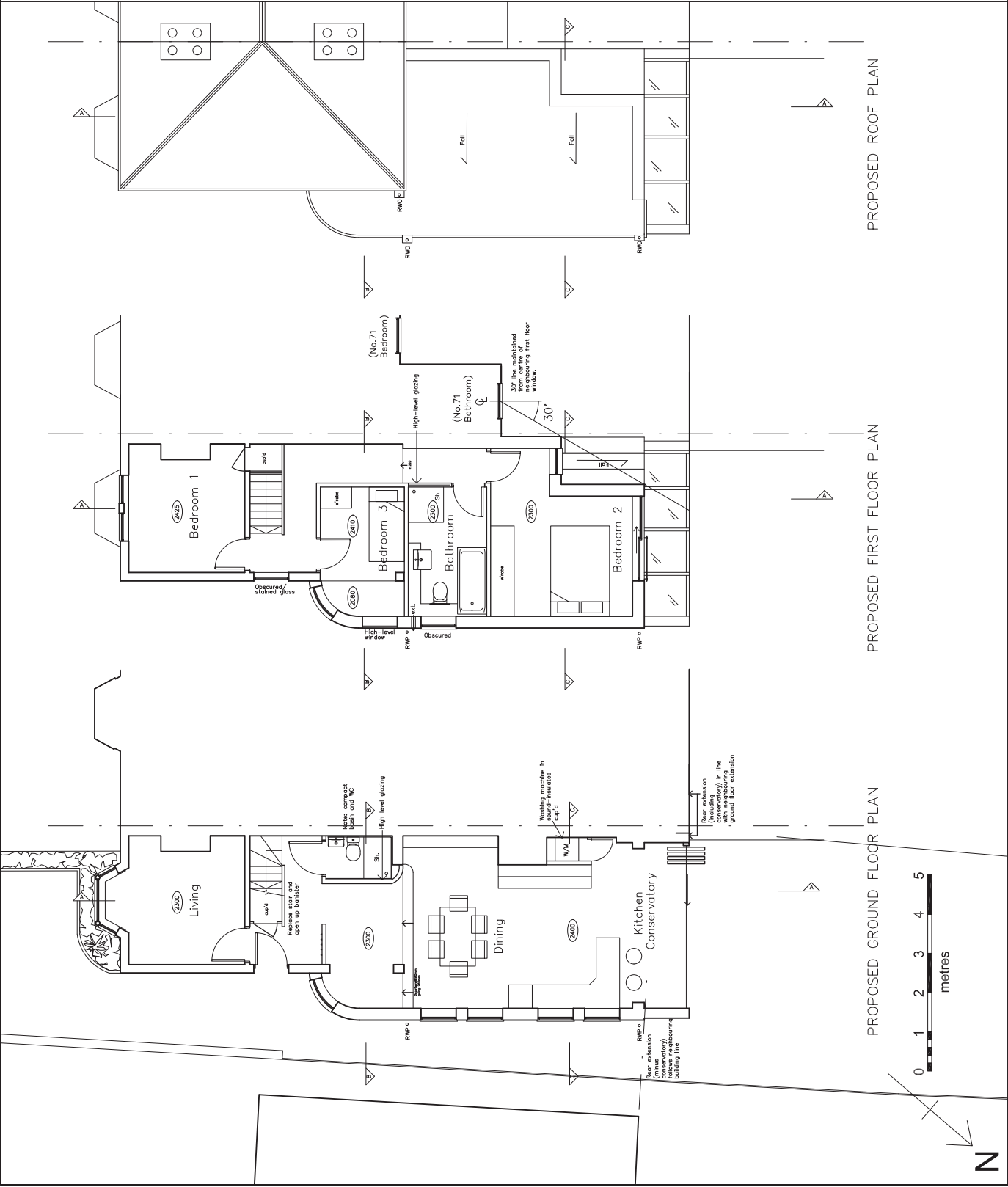
PROPOSED SIDE ELEVATION (partially obscured by neighbouring building)

DO NOT SCALE THIS DRAWING. USE FIGURED DIMENSIONS ONLY.
 All dimensions to be checked on site prior to commencement of works.
 This drawing is to be read in conjunction with all relevant drawings, specifications and schedules.
 IF IN DOUBT, ASK.

D 12.2.15 Amended following Planning meeting. Issued for Planning.
 C 12.9.14 First floor extended as client comments. Issued for Planning.
 B 4.8.14 Amended following LA pre-Planning comments.
 A 1.12.13 Amended following LA pre-Planning comments.
 - 16.5.14 First issue for comment.
 Rev. Date Description

Drawing Status	Planning
Project	Extension and Remodelling 73 Avenue Road
Location	London N14 4DD
Client	Daniel Pearce
Drawing Name	Proposed Plans
Drawing Number	006-05
Scale	1:100@A3
Date	May 2014
Revision	D

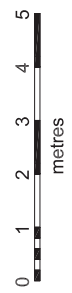
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PROPOSED ROOF PLAN

PROPOSED FIRST FLOOR PLAN

PROPOSED GROUND FLOOR PLAN

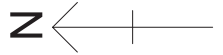


DO NOT SCALE THIS DRAWING. USE FIGURED DIMENSIONS ONLY.
All dimensions to be checked on site prior to commencement of works.
Dimensions shown on this drawing are for information only and should be read from relevant specific drawings.
This drawing is to be read in conjunction with all relevant drawings, specifications and schedules.
IF IN DOUBT, ASK.

A 12.9.14 Issued for Planning.
- 6.6.14 First Issue for pre-planning.
Rev. Date Description

Drawing Status	Planning
Project	Extension and Remodelling 73 Avenue Road
Location	London N14 4DD
Client	Daniel Pearce
Drawing Name	Location Plan
Drawing Number	006-04
Scale	1:1250@A3
Date	May 2014
Revision	A

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www.eggarchitecture.com



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LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 28th April 2015

Report of

Assistant Director, Planning,
Highways & Transportation

Contact Officer:

Andy Higham 020 8379 3848
Sharon Davidson 020 8379 3841
Ray Reilly 020 8379 5237

Ward:

Bush Hill Park

Ref: 15/01218/RE4

Category: LBE - Dev by LA

LOCATION: Firs Farm Playing Fields, Firs Lane, London, N21 2PJ

PROPOSAL: Creation of a wetland area (approximately 4,000 sq.m.) to the north of existing sports pitches involving restoration of culverted watercourse, Moore Brook, excavation and landscaping and creation of footpaths and cycle ways.

Applicant Name & Address:

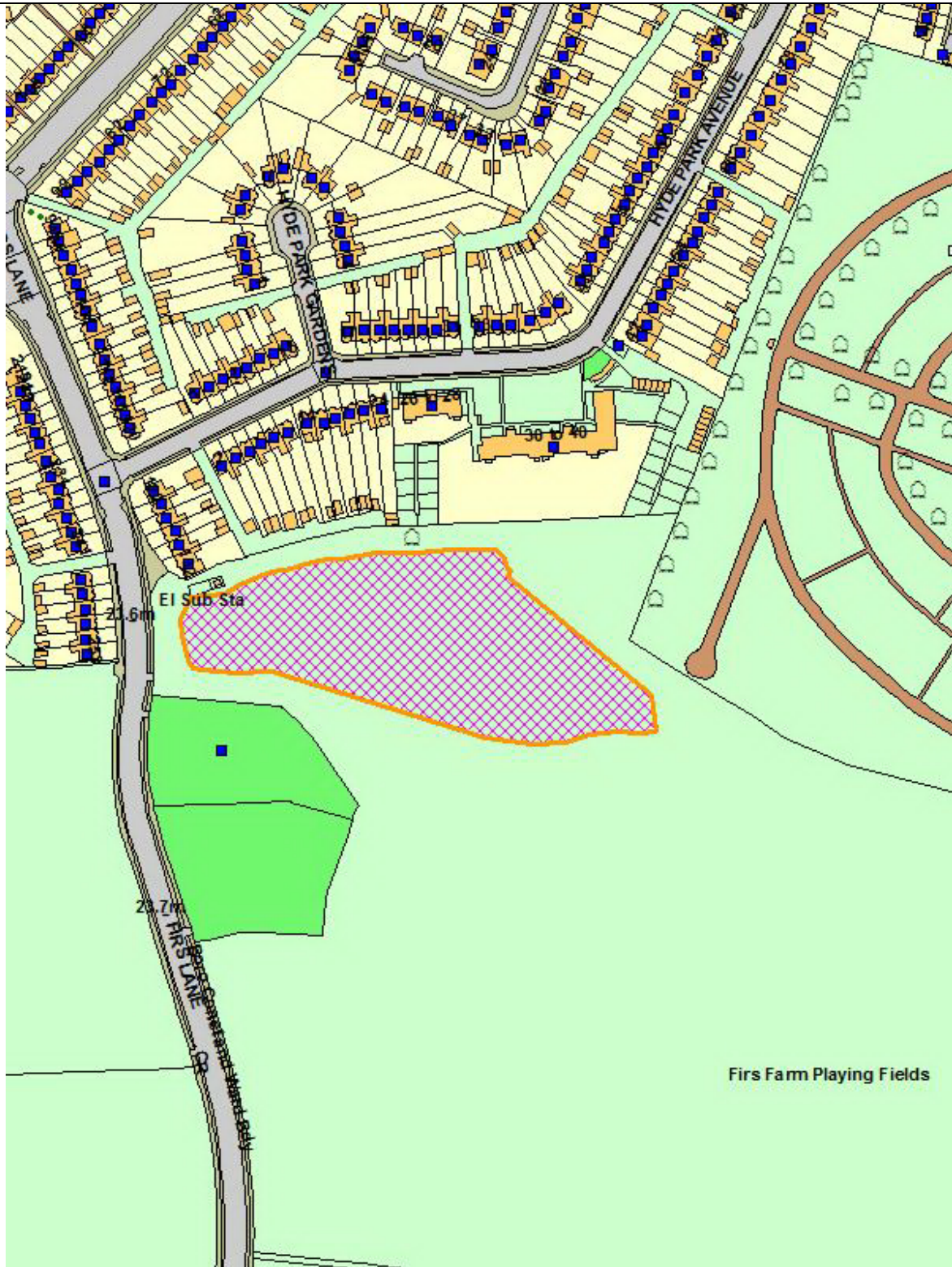
Mr Ian Russell
Civic Centre
Silver Street
Enfield
London
EN1 3XA

Agent Name & Address:

Enfield Council
Civic Centre
Silver Street
Enfield
London
EN1 3XA

RECOMMENDATION: That planning permission be deemed to be **GRANTED** in accordance with Regulation 3 of the Town and Country Planning General Regulations 1992 subject to conditions.

Ref: 15/01218/RE4 LOCATION: Firs Farm Playing Fields, Firs Lane, London, N21 2PJ



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Scale 1:1250

North



1.0 Site and Surroundings

- 1.1 Firs Farm Playing Fields is a public park situated within the Bush Hill Park Ward. It is a relatively large park that is bound by the residential houses on Hyde Park Avenue to the north, Edmonton Cemetery to the north east, the A10 to the east, residential streets to the south and Firs Lane to the west
- 1.2 The section of the park subject to the planning application totals approximately 4,000 sqm. The area is a predominantly flat grassed area to the north end of the park, south of Hyde Park Avenue and situated in between Firs Lane and Edmonton Cemetery.
- 1.3 The site is situated is designated as Metropolitan Open Land and is adjacent to a small wooded section of the park designated as a site of Local Importance for Nature Conservation.

2.0 Proposal

- 2.1 The application proposes engineering works in order to create a multi-functioning wetland area. This wetland is proposed to introduce a water feature to the park to enhance the visual amenity of the area and re-invigorate a part of the park that is currently underused. It is also proposed to re-introduce a culverted watercourse- Moore Brook.
- 2.2 The proposals involve the excavation of part of the park, approximately 110m by 65m. It is proposed to excavate to a depth of 2.3m. The soil from this excavation would then be re-positioned to the immediate west of the wetland ponds where a new raised landscaped area is to be created with sloping gradients 1.4m above existing ground level.
- 2.3 The proposed wetland itself would be broken into 3 separate cells 1200m², 800m² and 1500m² respectively. There would be new pathways created between each cell in Breedon gravel that would link into new paths created in easterly and westerly directions away from the park.
- 2.4 The applicant advises that the scheme will deliver multiple benefits:
 - Enhanced amenity features including improved access for all users through the creation of a network of footpaths/cycleways.
 - Increased biodiversity by creating habitat for a variety of wildlife.
 - Improve water quality through the creation of wetland treatment cells (Moore Brook flows towards Pymmes Park Lane further downstream)
 - Reduced flood risk through the storage of water following extreme rainfall.

3.0 Relevant Planning Decisions

- 3.1 There are no known relevant planning decisions relating to this section of Firs Farm Playing Fields.

4.0 Consultations

4.1 Statutory and non-statutory consultees

4.1.1 Environmental Health

No objection raised. This is because there would be no negative environmental impact in regards to human health. In particular there are no concerns regarding air quality, noise, or contaminated land.

4.1.2 Environment Agency

No objection raised. An informative has been suggested to advise:

The proposed wetland site is located within a Source Protection Zone 1 (SPZ1). The public water supply abstraction is from the Chalk aquifer which is overlain by sufficient thickness of London Clay and therefore should be adequately protected from the surface activities (unless there are preferential pathways such as borehole soakaways or periglacial/scour features present or introduced).

With regards to excavated materials and waste, it is confirmed that material arising from a development is not waste as long as it is used on the site of production and is suitable for that use without processing and treatment. A waste exemption would not be needed if this is the case. The applicant/contractors have a duty to follow the CLAIRE Code of Practice. The Moore Brook is an ordinary watercourse and therefore the responsibility of the Lead Local Flood Authority.

4.1.3 Traffic and Transportation

No objection raised, subject to a construction method statement condition being imposed.

4.1.4 Tree Officer

No objection. The Tree Officer has stated there are no objections raised subject to conditions in relation to landscaping and tree protection.

4.2 Public response

4.2.1 Letters were sent to 42 adjoining and nearby residents. In addition 8 site notices have been displayed outside the site. Three letters have been received to date, 2 in support and 1 against the development. The comments provided have been summarised below as follows:

Letter of Support:

- The proposed wetland will improve the visual amenity and attractiveness of an area of the park that is very underutilised.

Letters of Objection:

- Too much interference with the natural environment.
- If it comes into being, trees would have to be kept low, as the view of the fields would be obstructed from those local to them.

- Wetlands would create stagnant and polluted water, which would be unpleasant for walkers, runners cyclists and other users of the area.

5.0 Relevant Policy

5.1 London Plan

- Policy 5.13 Sustainable drainage
- Policy 5.14 Water quality and wastewater infrastructure
- Policy 5.18 Construction, excavation and demolition waste
- Policy 6.9 Cycling
- Policy 6.10 Walking
- Policy 7.19 Biodiversity and access to nature

5.2 Core Strategy

- CP21 Delivering Sustainable Water Supply, Drainage and Sewerage Infrastructure
- CP28 Flooding
- CP29 Flooding
- CP30 Maintaining and improving the quality of the built and open environment
- CP34 Open space
- CP36 Biodiversity

5.3 DMD

- DMD 47 New roads, access and servicing
- DMD 59 Avoiding and reducing flood risk
- DMD 62 Flood control and mitigation measures
- DMD63 Protection and improvement of water courses and flood defences
- DMD 64 Pollution control
- DMD 70 Water quality
- DMD 71 Protection and enhancement of open space
- DMD 78 to 81 Green Infrastructure

5.7 Other relevant policy/guidance

- NPPF
- NPPG

6.0 Analysis

6.1 Principle

- 6.1.1 Firs Farm Playing Fields is an open space on the boundary between Edmonton and Winchmore Hill. The site is dominated by sports pitches (12 football and 1 rugby pitch); however, there are substantial areas around the sports facilities that offer opportunities to create more natural open spaces. It is proposed to re-landscape these areas to restore a culverted watercourse (Moore Brook, which is 'lost' tributary of Pymmes Brook), create a wetlands area, and enhance woodlands and grasslands. The area of wetlands to be created is approximately 4,000m².

- 6.1.2 It has been agreed with Enfield's Parks Department, that the excavated material to create the wetland is to be reused within Firs Farm Park, to create a new landscaped area to the immediate west of the wetland area. This is an area that has been identified as requiring improvement. This proposed scheme, and the use of the excavated materials, form part of the strategic improvements to Firs Farm Playing Fields.
- 6.1.3 Firs Farm playing fields is designated as Metropolitan Open Land. Policy DMD 71 states that essential facilities that would support the enjoyment of, and maintain the openness of open space will be acceptable subject to certain criteria. Core Policy 34 states that the Council will protect and enhance existing open space to improve the provision of good quality and accessible open space. It is considered that the proposal achieves the objectives of these planning policies, as discussed below.
- 6.2.2 The proposed wetland is to be situated on land that is currently grassed with trees around its periphery. This area within the park has no playgrounds on it, no pitches and no formal paths through it. Thus currently, it is an under-utilised section of the park. However, the proposed wetland is to include paths running through it in strategic locations, linking it to the wider park and outlying area. It is therefore considered that the proposed development would support the enjoyment of the park. Furthermore, it is considered that the proposal would not compromise the openness of the park and existing greenery will be enhanced through additional native planting within the wetland area.
- 6.2.3 Overall, it is considered that the existing park would be enhanced by the wetland as it would create a useable and multi-functioning area that is currently under-utilised. The proposal would benefit the park and its users in regards to recreational function and visual amenity, as well the environmental and biodiversity enhancements it creates.

6.2 Impact on Character of Surrounding Area and Landscaping

- 6.2.1 The wetland has been split into 3 different areas, annotated on the plan as "cells". These cells vary in width and depth. The proposed wet land will reach a maximum width of 110m. The maximum depth of the wetland is 3m from ground level.
- 6.2.2 The wetland would look in keeping with the park, which is characterised by trees, grass and shrubs. It would look like a large landscaped area with pedestrian footpaths through it promoting connectivity through the park. The footpaths are to be surfaced in Breedon Gravel.
- 6.2.3 A condition is suggested requiring a landscaping plan to be submitted. Although landscaping details have been submitted with the types of species to be planted, their location has not been provided on a plan.

6.3 Impact on Neighbouring Properties

- 6.3.1 The proposal would not impact neighbouring residents in regards to outlook, and privacy. Whilst the residential properties on Hyde Park Avenue and Firs Lane are relatively close to the site, the nature of the proposals will not impact upon those properties. There would be obvious disruption during the

construction process, however the project should only take approximately 6-8 weeks to complete. The impact of construction works would be managed through a construction method statement condition.

6.4 Highway Safety and Construction

6.4.1 Traffic and Transportation have raised no objection to the scheme, subject to a condition relating to the submission of a construction method statement. The construction method statement would need to provide details of access and parking during construction.

6.5 Biodiversity

6.5.1 There are no ecological constraints to the proposed development. Whilst the site is located near an area of the park designated as Local Nature Conservation (wooded area to the west and south), it would not impact upon these areas. Overall the scheme is encouraged from a biodiversity perspective and will help to re-introduce new species to the area.

6.6 Trees

6.6.1 The Tree Officer has raised no objection to the proposal. The development will seek to provide additional trees in the area surrounding the site which will improve the appearance of the park as a whole. A condition has been recommended that the scheme is carried in accordance with the tree protection plan and arboriculture method statement.

7.0 Conclusion

7.1 The proposal seeks to introduce a wetland area into the park to improve the appearance of the park, the visual amenity and attractiveness of this area along with the restoration of an old watercourse- Moore Brook. This will also bring an added biodiversity benefit which is to be welcomed. The proposal is therefore supported.

8.0 Recommendation

8.1 That planning permission be subject to the following conditions:

1. C51A – Three year time limit
2. C60 Approved Plans

The use and development hereby permitted shall be carried out in accordance with the approved plans, as set out in the attached schedule which forms part of this notice.

Reason: For the avoidance of doubt and in the interests of proper planning.

3. No development shall take place until a Construction Method Statement has been submitted to, and approved in writing by, the local planning authority. The approved Statement shall be adhered to throughout the construction period. The Statement shall provide for:

- i. the parking of vehicles of site operatives and visitors
- ii. construction access
- iii. arrangements for vehicle servicing and turning areas
- iv. loading and unloading of plant and materials
- v. storage of plant and materials used in constructing the development
- vi. wheel washing facilities
- vii. measures to control the emission of dust and dirt during construction
- viii a scheme for recycling/disposing of waste resulting from the construction works

Reason: To ensure that the implementation of the development does not prejudice highway safety or the free-flow of traffic on adjoining highways, and to minimise disruption to neighbouring properties.

4. All areas of hedges, scrub or similar vegetation where birds may nest which are to be removed as part of the development, are to be cleared outside the bird-nesting season (March - August inclusive) or if clearance during the bird-nesting season cannot reasonably be avoided, a suitably qualified ecologist will check the areas to be removed immediately prior to clearance and advise whether nesting birds are present. If active nests are recorded, no vegetation clearance or other works that may disturb active nests shall proceed until all young have fledged the nest.

Reason: To ensure that wildlife is not adversely impacted by the proposed development in accordance with national wildlife legislation and in line with CP36 of the Core Strategy. Nesting birds are protected under the Wildlife and Countryside Act, 1981 (as amended).

5. No works or development shall take place until full details of both hard and soft landscape proposals have been submitted to and approved by the Local Planning Authority. Soft landscape details shall include:
 - Planting plans
 - Written specifications (including cultivation and other operations associated with plant and grass establishment)
 - Schedules of plants and trees, to include native, wildlife friendly species and large canopy trees in appropriate locations (noting species, planting sizes and proposed numbers / densities)

Reason: To screen, preserve and enhance the development and ensure adequate landscape treatment in the interest of amenity.

6. Retained Trees

In this condition a “retained tree” is an existing tree which is to be retained in accordance with the approved plans and particulars and any recommendations therein; and paragraphs (a) and (b) below shall have effect until the expiration of 5 years from the date of the (occupation of the

building/commencement of use of the approved development) for its permitted use.

- a) No retained tree shall be cut down, uprooted or destroyed, nor shall any retained tree be pruned in any manner, be it branches, stems or roots, other than in accordance with the approved plans and particulars, without the prior written approval of the Local Planning Authority. All tree works shall be carried out in accordance with BS 3998:2010.
- b) If any retained tree is cut down, uprooted, destroyed or dies, another tree shall be planted at the same place and that tree shall be of such size and species, and shall be planted at such time, as may be specified in writing by the Local Planning Authority.

Reason: To ensure that the retained trees, shrubs and hedgerows on the site or in adjacent sites are not adversely affected by any aspect of the development.

7. Tree Protection

The scheme shall be carried out in accordance with the Arboriculture Method Statement and Tree Protection plan submitted with the application.

Reason: To ensure that the retained trees, shrubs and hedgerows on the site or in adjacent sites are not adversely affected by any aspect of the development.

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NOTES

1. DO NOT SCALE FROM THIS DRAWING.
2. ANY ERRORS OR OMISSIONS TO BE BROUGHT TO THE ENGINEERS ATTENTION IMMEDIATELY FOUND.
3. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SHOWN.
4. ALL LEVELS ARE IN METRES AND RELATE TO ORDNANCE DATUM LEVEL UNLESS NOTED OTHERWISE.
5. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS. REFER TO DRAWING NO. LBE127-003 FOR SECTIONS AND DETAILS.

KEY

	Water
	Reedbeds
	Bound-gravel Footpath
	Raised areas
	Informal Grass
	Excavation
	Tree
	Tree To Be Removed
	Tree To Be Planted
	Proposed Ground Levels
	Existing Ground Levels
	Proposed Contours
	Existing Contours


Rev	Revision details	Date

STATUS: **PLANNING**

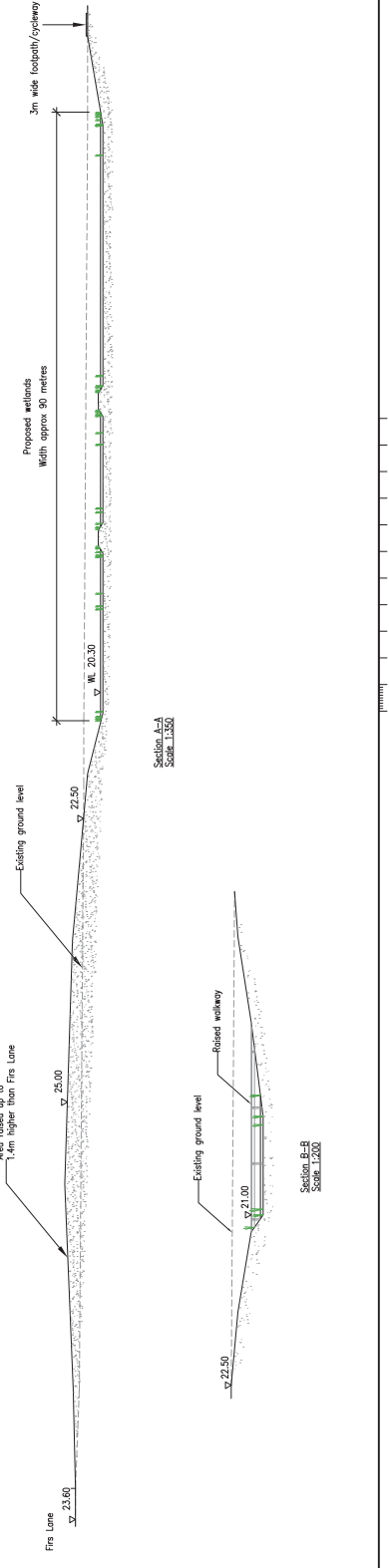
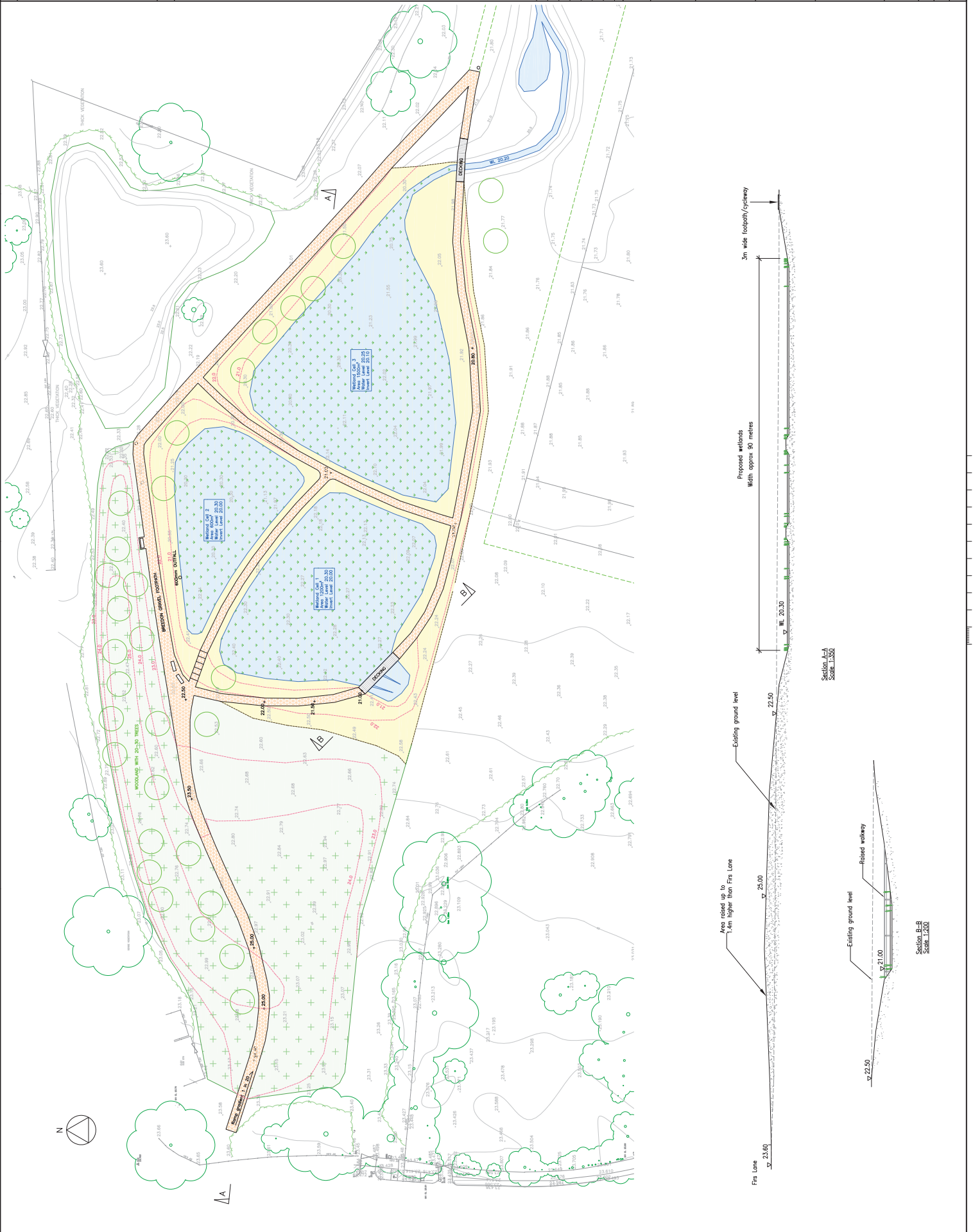
CLIENT: **LONDON BOROUGH OF ENFIELD**

JOB TITLE: **FIRS FARM WETLANDS**

DRAWING TITLE: **PLAN AND SECTIONS**



DATE:	MAR 2015
IR:	151
IR:	151
IR:	151
IR:	151
IR:	151
DRAWING NO.:	LBE087-001
SCALE:	A



100mm NATURAL SCALE

Firs Farm Wetlands - Location Plan

1:1250



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